

GENERAL SITE NOTES

1. GENERAL CONTRACTOR TO VERIFY THE EXISTING TOPOGRAPHIC GRADE LEVELS, LOCATIONS OF TREES AND THE PROPOSED HOUSE LOCATION. GENERAL CONTRACTOR TO COMMUNICATE TO OWNER AND DESIGNER ANY RECOMMENDED CHANGES BEFORE THE START OF ANY WORK.
2. GENERAL CONTRACTOR TO HAVE A LICENSED ENGINEER OR LICENSED SURVEYOR STAKE OUT OR VERIFY THE HOUSE LOCATION TO ENSURE THAT THE HOUSE DOES NOT ENCR OACH ON ANY SETBACKS OR EASEMENTS, UNLESS THE ENCROACHMENT IS ALLOWED BY ZONING AND BUILDING CODES. GENERAL CONTRACTOR TO COMMUNICATE TO OWNER AND DESIGNER ANY ENCROACHMENT ISSUES.
3. GENERAL CONTRACTOR TO LOCATE ALL UTILITY SERVICES I.E. WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE TV AND COORDINATE THE EXTENSIONS TO THE HOUSE WITH THE APPROPRIATE INSTALLER. ALL CONNECTIONS, METERS, CLEAN OUTS, ETC. TO BE LOCATED AWAY FROM ANY PROMINENT VIEW.
4. GENERAL CONTRACTOR TO COORDINATE FINISH TOPOGRAPHIC GRADING AND PAVING OF WALKS, DRIVEWAYS, PATIOS, ETC. AS REQUIRED FOR POSITIVE DRAINAGE AWAY FROM THE HOUSE.
5. GENERAL CONTRACTOR TO COORDINATE ALL LANDSCAPING WITH THE OWNER AND DETERMINE WHETHER THE LANDSCAPING PACKAGE IS TO BE PROVIDED BY GENERAL CONTRACTOR OR BY OTHERS.

INSULATION NOTES

1. PROVIDE R-15 RIGID INSULATION AT SLAB EDGE. GENERAL CONTRACTOR TO VERIFY WITH LOCAL CODE.
2. PROVIDE R-19 BATT INSULATION IN 2X6 WALLS, R-13 IN 2X4 WALLS, MINIMUM R-30 INSULATION IN FLAT CEILINGS AND R-19 IN VAULTED CEILINGS. ALLOW 1" MINIMUM AIRSPACE BETWEEN SHEATHING AND INSULATION. INSTALL INSULATION WITH BARRIER TO WARM SIDE.
3. INSTALL SIDE WALL AND CEILING INSULATION IN CONTINUOUS BLANKET WITHOUT HOLES FOR ELECTRICAL BOXES, LIGHT FIXTURES OR HEATING DUCTWORK. CAULK ALL OPENINGS IN EXTERIOR WALL CONSTRUCTION.
4. FLOORS OVER UNHEATED SPACE TO HAVE R-30 INSULATION BETWEEN JOISTS.
5. HVAC DUCTS LOCATED IN UNHEATED SPACES TO BE INSULATED WITH R-8. GENERAL CONTRACTOR TO VERIFY WITH LOCAL CODE.

ALL EXPOSED INSULATION TO HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.

GENERAL PLUMBING NOTES

1. PLUMBING SUBCONTRACTOR TO BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE CODES AND SAFETY REQUIREMENTS.
2. PROVIDE GAS SERVICE TO ALL WATER HEATERS AND HVAC EQUIPMENT AS REQUIRED.
3. IF WALL PLATES OR JOISTS ARE CUT DURING THE INSTALLATION OF PLUMBING FIXTURES OR EQUIPMENT PROVIDE BRACING TO TIE FRAMING BACK TOGETHER.
4. LOCATE WATER HEATERS IN THE ATTIC IN METAL PANS. PROVIDE AUXILIARY DRAIN TO OUTSIDE FOR POSSIBLE OVERFLOW.
5. ALL GAS WATER HEATERS TO BE VENTED AT TOP/OUT.
6. ALL PLUMBING AND MECHANICAL VENT STACKS TO BE LOCATED CLOSE TOGETHER IN THE ATTIC. VENT STACKS TO BE LOCATED TO THE REAR OF THE HOUSE AWAY FROM PROMINENT VIEW. ALL VENT STACKS TO BE PRIMED AND PAINTED TO CLOSELY MATCH ROOF COLOR.
1. PROVIDE HOSE BIBBS AS PER FOUNDATION AND FIRST FLOOR PLANS AND EXTERIOR PLAN LOCATIONS.
2. PROVIDE AN INSIDE MAIN WATER CUT OFF UNDER MAN'S MASTER BATH SINK.
3. PROVIDE SHOWER CURTAIN ROD(S) AT TUB(S) IN ALL BATH(S) EXCEPT MASTER BATH.
13. PROVIDE DOUBLE FLOOR JOIST UNDER ALL WALLS WHICH ARE PARALLEL TO FLOOR JOIST SPAN DIRECTION.
14. GENERAL CONTRACTOR TO ENSURE THAT PRE-FAB FIREPLACE CONSTRUCTION MEETS OR EXCEEDS ALL APPLICABLE CODES. FLUE HEIGHT TO MEET HEIGHT SHOWN ON ELEVATIONS. DO NOT EXCEED TOP OF CHIMNEY CHASE. PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME. ALL FIREPLACE CHASE WALLS TO BE INSULATED INSIDE AND OUTSIDE. PROVIDE HORIZONTAL 'DRAFT STOPS' AT EACH FLOOR LEVEL BY PACKING 6" (R-19) INSULATION BETWEEN 2X4 JOISTS.
15. GENERAL CONTRACTOR TO COORDINATE GAS SERVICE REQUIREMENTS WITH THE OWNER.
16. GENERAL CONTRACTOR TO CONSULT AND COORDINATE WITH THE OWNER CONCERNING REQUIREMENTS FOR SECURITY SYSTEMS, CENTRAL VACUUM AND ANY AUDIO COMPUTER OR TELEVISION (INCLUDING SATELLITE) SYSTEMS.

GENERAL CONSTRUCTION NOTES

1. THESE PLANS ARE PROTECTED BY THE FEDERAL COPYRIGHT LAW. REPRODUCTION OF THESE PLANS IN ANY FORM WITHOUT THE WRITTEN CONSENT OF THE DESIGNER IS PROHIBITED.
2. IF THIS PLAN WAS PURCHASED FROM A PUBLICATION, THERE MAY HAVE BEEN PLAN/ELEVATION CHANGES MADE FROM THE PRELIMINARY PLAN. RENDERINGS THAT APPEARED IN THE PUBLICATION. THESE CHANGES ENHANCE THE CHARACTER AND FUNCTIONALITY OF THE DESIGN.
3. THE DATA ON THIS SET OF CONSTRUCTION DOCUMENTS IS SHOWN TO RELATE BASIC DESIGN INTENT AND FRAMING DETAILS. APPLICABLE CODE REQUIREMENTS MAY VARY ALONG WITH CONSTRUCTION STANDARDS AND TECHNIQUES. CONSULT WITH LOCAL CODE AUTHORITIES AND REPUTABLE BUILDING TRADESMEN BEFORE STARTING CONSTRUCTION. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING STANDARD CONSTRUCTION DETAILS AND PROCEDURES TO ENSURE A STRUCTURALLY SOUND AND WEATHER PROOFED FINISHED PRODUCT. GENERAL CONTRACTOR TO NOTIFY DESIGNER OF ANY ITEMS WHICH ARE PERCEIVED AS POTENTIAL DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
4. THE STRUCTURAL DATA SHOWN ON THE PLANS IS FOR REFERENCE ONLY. GENERAL CONTRACTOR TO HAVE A LICENSED STRUCTURAL ENGINEER REVIEW ALL STRUCTURAL ELEMENTS SUCH AS JOIST SIZE AND SPACING, BEAM AND HEADER SIZES, BEAM CONNECTIONS, ETC.
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL WORK AND CONSTRUCTION MEETS OR EXCEEDS ALL CURRENT FEDERAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS, ETC. THESE ARE TO BE CONSIDERED AS PART OF THE SPECIFICATIONS OF THIS BUILDING AND SHOULD BE ADHERED TO EVEN IF THEY ARE IN VARIANCE WITH THE PLAN.
6. THESE PLANS ARE DESIGNED TO MEET OR EXCEED THE REQUIREMENTS OF THE 2015 INTERNATIONAL RESIDENTIAL ONE AND TWO FAMILY DUELLING CODE. WHEN BUILDING EITHER INSIDE OR OUTSIDE THE CODE JURISDICTION VARIATIONS MAY BE REQUIRED. IT IS THE RESPONSIBILITY OF THE CLIENT (PLAN PURCHASER) OR GENERAL CONTRACTOR TO VERIFY SUCH REQUIREMENTS WITH THE LOCAL CODE OR ENFORCEMENT OFFICER AND TO AMEND THE PROPOSED CONSTRUCTION AS REQUIRED.

7. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL WORK AND CONSTRUCTION MEETS OR EXCEEDS ALL SEISMIC CODES AND/OR SNOW LOADS (IF APPLICABLE) AS PER THE LOCAL JURISDICTION.
8. THE DESIGNER HAS NOT BEEN ENGAGED FOR CONSTRUCTION SUPERVISION OF ANY KIND AND ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION CONFORMING WITH THESE PLANS, NOR RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROCAUTIONS WITH THE WORK. THERE ARE NO WARRANTIES FOR A SPECIFIC USE EXPRESSED OR IMPLIED IN THE USE OF THESE PLANS.
9. ALL DIMENSIONS ARE CALCULATED FROM OUTSIDE FACE OF STUD WALL TO OUTSIDE FACE OF STUD WALL UNLESS NOTED OTHERWISE. STUD WALLS NOT DIMENSIONED ARE TYPICALLY 2 X 4 (3 1/2").
10. WINDOW SIZES INDICATED ON THE PLANS ARE NOTED BY GENERAL SASH SIZES. GENERAL CONTRACTOR TO NOTIFY DESIGNER IF A SPECIFIC SIZE IS NOT AVAILABLE.

11. THE WINDOW ROUGH OPENING HEAD HEIGHT AT THE FIRST FLOOR IS +0'-3" ABOVE THE SUBFLOOR UNLESS NOTED OTHERWISE. THE WINDOW HEAD ROUGH OPENING IS SET TO ALIGN WITH THE FRONT DOOR HEAD ROUGH OPENING. THE WINDOW ROUGH OPENING HEAD HEIGHT AT THE SECOND FLOOR IS 1'-4" ABOVE THE SUBFLOOR UNLESS NOTED OTHERWISE.
12. PROVIDE DOUBLE FLOOR JOIST UNDER ALL WALLS WHICH ARE PARALLEL TO FLOOR JOIST SPAN DIRECTION.
13. GENERAL CONTRACTOR TO ENSURE THAT PRE-FAB FIREPLACE CONSTRUCTION MEETS OR EXCEEDS ALL APPLICABLE CODES. FLUE HEIGHT TO MEET HEIGHT SHOWN ON ELEVATIONS. DO NOT EXCEED TOP OF CHIMNEY CHASE. PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME. ALL FIREPLACE CHASE WALLS TO BE INSULATED INSIDE AND OUTSIDE. PROVIDE HORIZONTAL 'DRAFT STOPS' AT EACH FLOOR LEVEL BY PACKING 6" (R-19) INSULATION BETWEEN 2X4 JOISTS.
15. GENERAL CONTRACTOR TO COORDINATE GAS SERVICE REQUIREMENTS WITH THE OWNER.
16. GENERAL CONTRACTOR TO CONSULT AND COORDINATE WITH THE OWNER AND THE PLANS FOR ALL BUILT IN REQUIREMENTS INCLUDING SHELVING, CLOSETS, PANTRY, BOOKCASES, ETC.

17. GENERAL CONTRACTOR TO INSALL ALUMINUM SHEET METAL TERMITE SHIELDS BETWEEN ALL WOOD SURFACES THAT ARE EXPOSED TO CONCRETE OR MASONRY SURFACES.
18. GENERAL CONTRACTOR TO REVIEW ALL FINISH FLOOR MATERIALS. ALL FINISH FLOORS TO BE INSTALLED TO BE FLUSH WITH ADJACENT FLOORS OF SIMILAR OR DISSIMILAR MATERIALS. GENERAL CONTRACTOR TO ADJUST THE FOUNDATION AS REQUIRED TO ENSURE THAT ALL FLOORS ARE FLUSH.
19. PROVIDE DOUBLE FLOOR JOIST UNDER ALL WALLS WHICH ARE PARALLEL TO FLOOR JOIST SPAN DIRECTION.
20. INSTALL CONTINUOUS APPROVED FLASHING WITH COTTON CORD WEEPS AT 48" ON CENTER WITHIN FIRST EXPOSED COURSE ABOVE GRADE.
21. MASONRY VENEER MUST BE ANCHORED TO BACK UP CONSTRUCTION WITH GALVANIZED CORRUGATED METAL TIES SPACED 16" ON CENTER HORIZONTALLY AND 24" ON CENTER VERTICALLY.

15. GENERAL CONTRACTOR TO COORDINATE GAS SERVICE REQUIREMENTS WITH THE OWNER.
16. GENERAL CONTRACTOR TO CONSULT AND COORDINATE WITH THE OWNER CONCERNING REQUIREMENTS FOR SECURITY SYSTEMS, CENTRAL VACUUM AND ANY AUDIO COMPUTER OR TELEVISION (INCLUDING SATELLITE) SYSTEMS.

GENERAL FOUNDATION NOTES

1. STRUCTURAL DATA SHOWN ON THE PLANS IS FOR REFERENCE ONLY. GENERAL CONTRACTOR TO HAVE A LICENSED STRUCTURAL ENGINEER REVIEW CONDITIONS ON SITE AND ENGINEER ALL STRUCTURAL ELEMENTS SUCH AS FOOTINGS, FOUNDATION WALLS AND SLABS.
2. GENERAL CONTRACTOR TO REVIEW THE FOUNDATION PLAN WITH A LICENSED STRUCTURAL ENGINEER TO MEET LOCAL CODES AND SOIL CONDITIONS.
3. GENERAL CONTRACTOR TO INSPECT THE JOB SITE AND EXCAVATED CONDITIONS PRIOR TO STARTING CONSTRUCTION. GENERAL CONTRACTOR TO COMMUNICATE TO THE OWNER AND/OR DESIGNER ANY CONDITIONS REGARDING SOILS, GROUND WATER, OR ANY OTHER ISSUE WHICH MAY REQUIRE ADDITIONAL OR SPECIAL ENGINEERING DESIGN BY A LICENSED STRUCTURAL ENGINEER.
4. GENERAL CONTRACTOR TO REVIEW PLANS, ELEVATIONS, AND DETAILS FOR DIMENSION OF FINISH FLOOR ABOVE TYPICAL GRADE. GENERAL CONTRACTOR TO COMMUNICATE TO THE DESIGNER ANY SITE CONDITIONS THAT REQUIRE MODIFICATIONS TO DIMENSIONS INDICATED ON PLANS, SECTIONS, OR EXTERIOR ELEVATIONS.
5. ALL DIMENSIONS ARE CALCULATED FROM OUTSIDE FACE OF BLOCK WALL TO OUTSIDE FACE OF BLOCK WALL AND TO CENTER LINE OF BLOCK PIERS UNLESS OTHERWISE NOTED.
6. ASSUMED SOIL TO BE SAND OR GRAVEL, WITH MINIMUM TRAC OF DRY CLAY, WITH A MINIMUM BEARING CAPACITY OF 2000 LBS/SQ. FT.

7. GENERAL CONTRACTOR TO VERIFY FOOTING DEPTHS WITH LOCAL FROST REQUIREMENTS OR EXISTING SOIL CONDITIONS; WHICHEVER IS MORE RESTRICTIVE.
8. ALL FOOTINGS TO REST ON UNDISTURBED SOIL.
9. FOOTING SIZES SHOWN ARE ONLY TYPICAL FOR STATED SOIL PRESSURES AND CONTINENT COMPACTIOnS; WHICHEVER IS MORE RESTRICTIVE.
10. IF BLOCK COURSING EXCEEDS SIX BLOCKS IN HEIGHT, GENERAL CONTRACTOR TO COORDINATE WITH STRUCTURAL ENGINEER FOR ANY ADDITIONAL REINFORCING THAT IS REQUIRED. ALL REQUIRED MODIFICATIONS TO BE COMMUNICATED TO THE OWNER AND DESIGNER.
11. PLACE 1/2 DIAMETER X 12" SILL PLATE ANCHOR BOLTS AT EACH VERTICAL REBAR (WHERE OCCURRING) OR AT 4'-0" ON CENTER AND AT EACH CORNER AND BOTH SIDES OF OPENINGS.
12. GENERAL CONTRACTOR TO COORDINATE WITH A LICENSED, BONDED INSTALLER TO PROVIDE TERMITE TREATMENT WHICH COMPLIES WITH ALL LOCAL BUILDING CODES.
13. PROVIDE 1/2" EXPANSION JOINT MATERIAL BETWEEN ALL CONCRETE SLABS ON ABUTTING CONCRETE OR MASONRY WALLS OCCURRING IN EXTERIOR OR UNHEATED INTERIOR AREAS.
14. UNLESS OTHERWISE NOTED, ALL SLABS ON GRADE TO BE 3500 P.S.I., (28) DAY COMPRESSIVE STRENGTH CONCRETE IN 4" SAND OR GRAVEL FILL MINIMUM, WITH 6"x6" 2/10 WIRE MESH REINFORCING. ALL EXTERIOR SLABS TO BE 4" THICK. ALL INTERIOR SLABS TO BE 3" THICK. PROVIDE 8" CONCRETE FILLER FROST DRAIN AT 4'-0" O.C. EACH WAY THROUGH POLYMER THICKEN SLAB TO AT LEAST BEARING WALL.
15. PROVIDE DEEP SCORE CONTROL JOINTS AT MID POINTS OF ALL GARAGE SLABS, BOTH DIRECTIONS.
16. PROVIDE CRAWL SPACE VENTILATION PER LOCAL CODE REQUIREMENTS.

17. GENERAL CONTRACTOR TO INSTALL ALUMINUM SHEET METAL TERMITE SHIELDS BETWEEN ALL WOOD SURFACES THAT ARE EXPOSED TO CONCRETE OR MASONRY SURFACES.
18. GENERAL CONTRACTOR TO REVIEW ALL FINISH FLOOR MATERIALS. ALL FINISH FLOORS TO BE INSTALLED TO BE FLUSH WITH ADJACENT FLOORS OF SIMILAR OR DISSIMILAR MATERIALS. GENERAL CONTRACTOR TO ADJUST THE FOUNDATION AS REQUIRED TO ENSURE THAT ALL FLOORS ARE FLUSH.
19. PROVIDE DOUBLE FLOOR JOIST UNDER ALL WALLS WHICH ARE PARALLEL TO FLOOR JOIST SPAN DIRECTION.
20. INSTALL CONTINUOUS APPROVED FLASHING WITH COTTON CORD WEEPS AT 48" ON CENTER WITHIN FIRST EXPOSED COURSE ABOVE GRADE.
21. MASONRY VENEER MUST BE ANCHORED TO BACK UP CONSTRUCTION WITH GALVANIZED CORRUGATED METAL TIES SPACED 16" ON CENTER HORIZONTALLY AND 24" ON CENTER VERTICALLY.

15. GENERAL CONTRACTOR TO COORDINATE GAS SERVICE REQUIREMENTS WITH THE OWNER.
16. GENERAL CONTRACTOR TO CONSULT AND COORDINATE WITH THE OWNER AND THE PLANS FOR ALL BUILT IN REQUIREMENTS INCLUDING SHELVING, CLOSETS, PANTRY, BOOKCASES, ETC.

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20. INSTALL CONTINUOUS APPROVED FLASHING WITH COTTON CORD WEEPS AT 48" ON CENTER WITHIN FIRST EXPOSED COURSE ABOVE GRADE.
21. MASONRY VENEER MUST BE ANCHORED TO BACK UP CONSTRUCTION WITH GALVANIZED CORRUGATED METAL TIES SPACED 16" ON CENTER HORIZONTALLY AND 24" ON CENTER VERTICALLY.

15. GENERAL CONTRACTOR TO COORDINATE GAS SERVICE REQUIREMENTS WITH THE OWNER.
16. GENERAL CONTRACTOR TO CONSULT AND COORDINATE WITH THE OWNER CONCERNING REQUIREMENTS FOR SECURITY SYSTEMS, CENTRAL VACUUM AND ANY AUDIO COMPUTER OR TELEVISION (INCLUDING SATELLITE) SYSTEMS.

GENERAL FRAMING NOTES

*FRAMING NOTATIONS WERE DESIGNED USING STANDARD CONSTRUCTION PRACTICES IN THE MID-SOUTH. THEY CONFORM TO THE 2015 IRC ONE AND TWO FAMILY DUELLING CODE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONSULTING WITH LOCAL STRUCTURAL ENGINEERS AND CODE OFFICIALS PRIOR TO USING THE FRAMING MATERIALS PROVIDED TO INSURE COMPLIANCE WITH CODES AND STRUCTURAL INTEGRITY. DUE TO VARIATIONS IN LOCAL CODES AND GEOLOGICAL CONDITIONS, REVISIONS MAY BE REQUIRED TO THESE PLANS.

LOCATION	LIVE	DEAD	DEFLECT LIMIT
1ST FLOOR	40 LB	10 LB	L/360
2ND FLOOR (SLEEPING)	30 LB	10 LB	L/360
ATTIC (NON STORAGE)	10 LB	5 LB	L/240
ATTIC (STORAGE)	20 LB	10 LB	L/240
ROOF (W/IN CEILING)	20 LB	10 LB	L/240
ROOF (NO FIN CEILING)	20 LB	10 LB	L/240
DECKS	60 LB	10 LB	L/360

*SEE NOTE ABOVE FOR LOCAL VARIATIONS PER REGION.

1. ALL FRAMING MATERIAL TO BE #2 KD MINIMUM. LUMBER SHALL BE DOUGLAS-FIR-LARCH WITH F0+1650 AND E+17 MINIMUM, HEM-FIR WITH F0+1350 AND E+14 MINIMUM OR SOUTHERN-YELLOW-PINE WITH F0+1650 AND E+16 MINIMUM. MICRO-LAM' BEAMS TO HAVE BENDING STRESS, F0+2325 FSI.
2. ALL WOOD FRAMING IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED.
3. PROVIDE DOUBLE FLOOR JOISTS UNDER ALL WALLS WHICH ARE PARALLEL TO FLOOR JOIST SPAN DIRECTION.
4. PROVIDE 'X' BRACING OR SOLID BLOCKING AT A MAXIMUM OF 6'-0" O.C. AT ALL FLOOR JOIST.
5. FLOOR CONSTRUCTION: 1" TONGUE AND GROOVE SUBFLOOR. FINISH MATERIAL TO BE APPLIED OVER SUBFLOOR. GLUE AND SCREW PLYWOOD DECKING TO FLOOR JOIST TO ENSURE A 'NONSEQUAK' FLOOR SYSTEM.
6. ALL STUD WALLS TO BE FRAMED AT 16" O.C. MAXIMUM.
7. ALL ANGLED WALLS TO BE FRAMED AT A 45° ANGLE UNLESS OTHERWISE NOTED.
8. MINIMUM HEADER SIZE AT SECOND FLOOR TO BE (2) 2X6'S UNLESS OTHERWISE NOTED.
9. ALL HEADERS TO BE FREE FROM ALL SPLITS AND CHECKS.
10. PROVIDE FULL SOLID BEARING OR STUD BEARING UNDER ALL BEAM BEARING POINTS.
11. ALL BEAMS TO HAVE TRIPLE STUD BEARING AT EACH END.
12. ALL BEAM AND JOIST INTERSECTIONS TO RECEIVE GALVANIZED BEAM HANGERS.
13. ALL STRUCTURAL STEEL TO CONFORM WITH ASTM SPECIFICATION A-36.
14. UNLESS OTHERWISE NOTED, PROVIDE A 2X PLATE BOLTED TO THE TOP FLANGE OF ALL STEEL BEAMS WITH 3/8" DIAMETER BOLTS STAGGERED AT 24" ON CENTER. RIGIDLY FASTEN ALL CONNECTING RAFTERS AND JOISTS AS APPROVED BY GOVERNING CODES.
15. UNLESS OTHERWISE NOTED, PROVIDE DOUBLE HEADERS AND TRIMMERS AT ALL FLOOR JOIST SPANS. 2X12 HEADERS WITH 1" PLYWOOD GLUED AND NAILLED BETWEEN FOR ALL OPENINGS IN 2X6 WALLS, AND DOUBLE 2X12 HEADERS NAILED TOGETHER FOR ALL OPENINGS IN 2X4 WALLS FOR FIRST AND SECOND FLOORS AS REQUIRED.
16. BRACE EXTERIOR CORNERS OF STUD WALLS WITH 1X4 DIAGONAL BRACING LET INTO STUDS AT 48" FROM PLATE TO CENTER OF STUD.
17. PAIR CONSTRUCTION TO CONSIST OF (3) 2X12 STRINGERS, 5" OR 2X THICK TREADS AND 3/4" THICK RISERS OR MATERIALS FABRICATED BY A COMPONENT MANUFACTURER.
18. HANDRAILS TO BE MOUNTED 32"-34" ABOVE NOSING OF STAIRS. GUARDRAILS TO BE MOUNTED AT 36".
19. ALL WALLS OVER 10'-0" HIGH TO BE 2X6'S AT 16" O.C. AND RECEIVE 2 ROWS OF 2X6 BLOCKING AT 1/3 POINTS OF HEIGHT. BRACE WALLS WITH DIAGONAL 1X4'S LET-INTO STUDS AT 45° ANGLE.
20. TYPICAL EXTERIOR 2X4 AND 2X6 STUD WALLS TO BE SHEATHED WITH 1" EXTERIOR GRADE PLYWOOD. PLYWOOD TO SPAN OVER ALL PLATES AND HEADERS.
21. FLOOR FRAMING LAYOUT TO BE COORDINATED WITH THE GENERAL AND HVAC CONTRACTORS TO PROVIDE ACCESS CHASES AND UNOBSTRUCTED RUNS FOR HVAC DUCT WORK.
22. PROVIDE BLOCKING AT ALL CABINET LOCATIONS.
23. PROVIDE DOUBLE 2X6 STRONGBACK BRACING AT CENTERLINE OF CEILING JOIST SPANS OVER 10'-0".
24. ALL RAFTERS TO BE 2X8'S AT 16" O.C. UNLESS NOTED OTHERWISE ON PLANS. VERIFY SIZE AND SPACING PER LOCAL BUILDING CODE.
25. PROVIDE 2X4 RAFTER TIES AT ALL PLATES WHERE JOIST RUN PERPENDICULAR TO RAFTERS.
26. HIP VALLEY RAFTERS AND RIDGE BOARDS TO BE ONE SIZE LARGER THAN TYPICAL RAFTERS.
27. PROVIDE 2X6 COLLAR TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND CEILING JOIST AT 48" O.C.
28. PROVIDE INSULATION Baffles AT EAVE VENTS BETWEEN RAFTERS/TRUSSES.

GENERAL ELEVATION NOTES

1. EXTERIOR FLASHING TO BE CORRECTLY INSTALLED AT ALL CONNECTIONS BETWEEN ROOFS, WALLS, CHIMNEYS, PROJECTIONS AND PENETRATIONS AS REQUIRED BY APPROVED CONSTRUCTION PRACTICES.
2. GENERAL CONTRACTOR TO PROVIDE ADEQUATE ATTIC VENTILATION AND ROOF VENTS PER LOCAL GOVERNING CODE. INSTALL CONTINUOUS RIDGE VENTILATION AND FRIME AND PAINT TO CLOSELY MATCH ROOF COLOR IF APPLICABLE. PROVIDE APPROPRIATE SOFFIT VENTILATION AT OVERHANGS.
3. ALL PLUMBING AND MECHANICAL VENTS TO BE LOCATED CLOSE TOGETHER WITHIN THE ATTIC SPACE WHEN POSSIBLE TO MINIMIZE THE NUMBER OF ROOF PENETRATIONS. ALL PLUMBING AND MECHANICAL VENTS WHICH APPEAR ABOVE THE ROOF TO BE LOCATED AWAY FROM ANY PROMINENT VIEW. NO VENTS TO BE ALLOWED ON THE FRONT ROOF. ALL METAL AND PVC VENTS AND PENETRATIONS TO BE PRIMED AND PAINTED TO CLOSELY MATCH THE ROOF COLOR.
4. GENERAL CONTRACTOR TO LOCATE UTILITY METERS AWAY FROM ANY PROMINENT VIEW. UTILITY METERS TO BE LOCATED AS CLOSE TO GRADE AS POSSIBLE TO MINIMIZE THE VISUAL IMPACT OF THE METERS.

5. GUTTERS AND DOWNSPOUTS ARE NOT INCLUDED ON THE ELEVATIONS. GENERAL CONTRACTOR TO VERIFY THE EXISTING TOPOGRAPHIC GRADE, AND LOCATE DOWNSPOUTS TOWARDS FRONT AND REAR OF HOUSE BASED ON TOPOGRAPHIC CONDITIONS TO ALLOW POSITIVE DRAINAGE AWAY FROM THE HOUSE. DO NOT LOCATE DOWNSPOUTS IN PROMINENT LOCATIONS. GENERAL CONTRACTOR TO OBTAIN OWNER APPROVAL OF ALL DOWNSPOUT LOCATIONS. GUTTERS AND DOWNSPOUTS TO CLOSELY MATCH TRIM COLOR OF HOUSE OR IF PPROPRIATE DOWNSPOUTS MAY BE COLOR MATCHED TO PRIMARY ELEVATION MATERIAL.

GENERAL FLOOR PLAN NOTES

1. DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS ONLY. IF DIMENSION IS NOT CALLED OUT, VERIFY DIMENSION WITH DESIGNER.
2. ALL DIMENSIONS ARE CALCULATED FROM OUTSIDE FACE OF STUD WALL TO OUTSIDE FACE OF STUD WALL UNLESS OTHERWISE NOTED. WALLS NOT DIMENSIONED ARE TYPICALLY 2 X 4 (3 1/2").
3. ALL INTERIOR WALLS TO BE COVERED WITH 1/2" GYPSUM BOARD, WITH METAL CORNER REINFORCING. TAPE, FLOAT AND SAND (3 COATS).
4. WALLS COMMON TO GARAGE AND HOUSE TO HAVE A LAYER OF 5/8", 1 HR FIRE RATED GYPSUM BOARD AT THE GARAGE SIDE. (ONLY IF REQUIRED BY LOCAL CODE.)
5. ALL BATH AND TOILET AREA WALLS AND CEILINGS ADJACENT TO UET AREAS TO HAVE WATER RESISTANT GYPSUM BOARD.
6. BEDROOM WINDOWS TO HAVE A MINIMUM NET CLEAR OPENING OF 4 SQ. FT., A MINIMUM NET CLEAR OPENABLE WIDTH OF 20", A MINIMUM NET CLEAR FINISHABLE HEIGHT OF 22" AND HAVE A MAXIMUM FINISH SILL HEIGHT OF 44" FROM FINISH FLOOR.

7. ALL GLASS LOCATED WITHIN 18' OF FLOOR, 24' OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WHIRLPOOLS, SHOWERS, SAUNAS, STEAM ROOMS OR HOT TUBS TO BE TEMPERED.
8. BATHROOMS AND UTILITY ROOMS TO BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 50 CFM FAN. RANGE HOODS TO BE VENTED TO OUTSIDE.
9. PROVIDE SYNTHETIC MARBLE TOPS, SPLASH, LAVATORIES AND WHIRLPOOL TUB UNLESS OTHERWISE NOTED.
10. SYNTHETIC MARBLE WALLS AND GLASS TO BE 1"-0" ABOVE FINISH FLOOR IN MASTER BATH SHOWER UNLESS OTHERWISE NOTED. LOCATE SHOWER HEAD AT 6'-3" ABOVE FINISH FLOOR.
11. TILE WALLS IN TUB ALCOVE TO BE 1"-0" ABOVE FINISH FLOOR IN ALL OTHER BATHS UNLESS OTHERWISE NOTED. LOCATE SHOWER HEAD AT 6'-3" ABOVE FINISH FLOOR.
12. GENERAL CONTRACTOR TO WELL VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.

GENERAL ELEVATION NOTES

1. EXTERIOR FLASHING TO BE CORRECTLY INSTALLED AT ALL CONNECTIONS BETWEEN ROOFS, WALLS, CHIMNEYS, PROJECTIONS AND PENETRATIONS AS REQUIRED BY APPROVED CONSTRUCTION PRACTICES.
2. GENERAL CONTRACTOR TO PROVIDE ADEQUATE ATTIC VENTILATION AND ROOF VENTS PER LOCAL GOVERNING CODE. INSTALL CONTINUOUS RIDGE VENTILATION AND FRIME AND PAINT TO CLOSELY MATCH ROOF COLOR IF APPLICABLE. PROVIDE APPROPRIATE SOFFIT VENTILATION AT OVERHANGS.
3. ALL PLUMBING AND MECHANICAL VENTS TO BE LOCATED CLOSE TOGETHER WITHIN THE ATTIC SPACE WHEN POSSIBLE TO MINIMIZE THE NUMBER OF ROOF PENETRATIONS. ALL PLUMBING AND MECHANICAL VENTS WHICH APPEAR ABOVE THE ROOF TO BE LOCATED AWAY FROM ANY PROMINENT VIEW. NO VENTS TO BE ALLOWED ON THE FRONT ROOF. ALL METAL AND PVC VENTS AND PENETRATIONS TO BE PRIMED AND PAINTED TO CLOSELY MATCH THE ROOF COLOR.
4. GENERAL CONTRACTOR TO LOCATE UTILITY METERS AWAY FROM ANY PROMINENT VIEW. UTILITY METERS TO BE LOCATED AS CLOSE TO GRADE AS POSSIBLE TO MINIMIZE THE VISUAL IMPACT OF THE METERS.

5. GUTTERS AND DOWNSPOUTS ARE NOT INCLUDED ON THE ELEVATIONS. GENERAL CONTRACTOR TO VERIFY THE EXISTING TOPOGRAPHIC GRADE, AND LOCATE DOWNSPOUTS TOWARDS FRONT AND REAR OF HOUSE BASED ON TOPOGRAPHIC CONDITIONS TO ALLOW POSITIVE DRAINAGE AWAY FROM THE HOUSE. DO NOT LOCATE DOWNSPOUTS IN PROMINENT LOCATIONS. GENERAL CONTRACTOR TO OBTAIN OWNER APPROVAL OF ALL DOWNSPOUT LOCATIONS. GUTTERS AND DOWNSPOUTS TO CLOSELY MATCH TRIM COLOR OF HOUSE OR IF PPROPRIATE DOWNSPOUTS MAY BE COLOR MATCHED TO PRIMARY ELEVATION MATERIAL.

GENERAL ELECTRICAL NOTES

1. ELECTRICAL PLAN(S) ILLUSTRATE BASIC DESIGN INTENT ONLY. ELECTRICAL CONTRACTOR TO BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE CODES AND SAFETY REQUIREMENTS.
2. LIGHT FIXTURES TO BE INSTALLED AS CLOSE AS POSSIBLE TO THE LOCATION SHOWN ON THE ELECTRICAL PLAN(S). LIGHT FIXTURES TO ALIGN WITH OTHER LIGHT FIXTURES OR WITH ADJACENT HVAC SARKS AND RAG'S.
3. GENERAL CONTRACTOR AND ELECTRICAL SUBCONTRACTOR TO REVIEW THE PLAN(S) AND WALK THROUGH THE JOB TO VERIFY THAT THE DESIGN INTENT IS MAINTAINED. GENERAL CONTRACTOR TO NOTIFY DESIGNER IF ANY ITEMS ARE DIFFERENT FROM THE ELECTRICAL PLAN(S) BEFORE THE INSTALLATION OF FIXTURES, SWITCHES, ETC.
4. GAS OR ELECTRICAL SERVICE TO BE PROVIDED AS REQUIRED FOR ALL APPLIANCES AND EQUIPMENT SUCH AS REFRIGERATOR, DISH WASHER, DISPOSAL, FREEZER, COOKTOP WASHER, DRYER, OVENS, HVAC EQUIPMENT, ALARM PANEL, ETC. PROVIDE OUTLET ABOVE RANGE FOR MICROQUAVE OR HOOD VENT IF FINAL KITCHEN LAYOUT REQUIRES.
5. ALL OUTLETS THAT ARE NEAR ANY WATER CONDITION TO BE GFI TYPE.
6. SWITCHES AND OUTLETS TO BE COORDINATED WITH THE OWNER AND COLOR MATCHED WITH INTERIOR TRIM.
7. PROVIDE WATERPROOF OUTLETS AS PER PLANS.
8. GENERAL CONTRACTOR TO VERIFY WITH THE OWNER ALL LOCATIONS OF PHONE OUTLETS, COMPUTER OUTLETS AND ELECTRONIC DEVICE OUTLETS. ALL COMPUTER OUTLETS TO BE IN A DEDICATED CIRCUIT.
9. GENERAL CONTRACTOR TO TRIM WITH THE OWNER THE LOCATIONS OF THE CABLE TV OUTLETS.
10. DIMMERS TO BE SELECTED FOR THE APPROPRIATE LOAD OF THE FIXTURES AND LAMPS SELECTED. SLIDY TYPE DIMMERS ARE PREFERRED.
11. VERIFY TRIM SIZE FOR ALL DOORS AND WINDOWS BEFORE SWITCHES ARE LOCATED. LOCATE SWITCHES CLOSE TO TRIM AND ALIGN WITH EACH OTHER IF THERE ARE MULTIPLE SWITCHES.
12. BLOCK AND PREUIRE SEPARATE SWITCHES TO EACH LIGHT AND CEILING FAN.
13. GENERAL CONTRACTOR TO VERIFY WITH DESIGNER AND/OR LANDSCAPE ARCHITECT ALL LANDSCAPE AND EXTERIOR LIGHTING CIRCUITS AND SWITCHES.
14. GENERAL CONTRACTOR TO VERIFY WITH THE OWNER IF EXTERIOR SECURITY LIGHTS ARE DESIRED. IF SO, GENERAL CONTRACTOR TO VERIFY THE TYPE OF FIXTURE, LOCATION AND REQUIRED SWITCHING.
15. GENERAL CONTRACTOR TO COORDINATE ALL THE REQUIREMENTS OF AN ALARM SYSTEM WITH THE OWNER IF ONE IS DESIRED.
16. PROVIDE HARWIRED SMOKE DETECTORS, WITH BATTERY BACKUP, ON ALL FLOORS AND IN EACH BEDROOM. VERIFY WITH LOCAL CODE REQUIREMENTS.
17. PROVIDE FOR () A/C UNIT(S). NUMBER OF UNITS TO BE DETERMINED BY THE LOCAL MECHANICAL CONTRACTOR.
18. A/C UNIT LOCATION(S) ARE NOT TO BE WIRED NEXT TO MASTER BEDROOM OR PATIO AREA.
19. PANEL BOX TO BE SIZED TO ACCOMMODATE ALL CALCULATED LOADS AND PROVIDE FOR A MINIMUM OF EIGHT SPARES.
20. DECORATIVE LIGHT FIXTURES TO BE SELECTED BY THE OWNER AND COORDINATED WITH THE GENERAL CONTRACTOR. THE OWNER TO APPROVE ALL SUBSTITUTIONS.
21. GENERAL CONTRACTOR TO COORDINATE THE LAMP SELECTION AND RECESSED CAN SIZE AND TRIM WITH THE OWNER.
22. ELECTRIC AND GAS METERS TO BE LOCATED AWAY FROM ANY PROMINENT VIEW.

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1. ELECTRICAL PLAN(S) ILLUSTRATE BASIC DESIGN INTENT ONLY. ELECTRICAL CONTRACTOR TO BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE CODES AND SAFETY REQUIREMENTS.
2. LIGHT FIXTURES TO BE INSTALLED AS CLOSE AS POSSIBLE TO THE LOCATION SHOWN ON THE ELECTRICAL PLAN(S). LIGHT FIXTURES TO ALIGN WITH OTHER LIGHT FIXTURES OR WITH ADJACENT HVAC SARKS AND RAG'S.
3. GENERAL CONTRACTOR AND ELECTRICAL SUBCONTRACTOR TO REVIEW THE PLAN(S) AND WALK THROUGH THE JOB TO VERIFY THAT THE DESIGN INTENT IS MAINTAINED. GENERAL CONTRACTOR TO NOTIFY DESIGNER IF ANY ITEMS ARE DIFFERENT FROM THE ELECTRICAL PLAN(S) BEFORE THE INSTALLATION OF FIXTURES, SWITCHES, ETC.
4. GAS OR ELECTRICAL SERVICE TO BE PROVIDED AS REQUIRED FOR ALL APPLIANCES AND EQUIPMENT SUCH AS REFRIGERATOR, DISH WASHER, DISPOSAL, FREEZER, COOKTOP WASHER, DRYER, OVENS, HVAC EQUIPMENT, ALARM PANEL, ETC. PROVIDE OUTLET ABOVE RANGE FOR MICROQUAVE OR HOOD VENT IF FINAL KITCHEN LAYOUT REQUIRES.
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15. GENERAL CONTRACTOR TO COORDINATE ALL THE REQUIREMENTS OF AN ALARM SYSTEM WITH THE OWNER IF ONE IS DESIRED.
16. PROVIDE HARWIRED SMOKE DETECTORS, WITH BATTERY BACKUP, ON ALL FLOORS AND IN EACH BEDROOM. VERIFY WITH LOCAL CODE REQUIREMENTS.
17. PROVIDE FOR () A/C UNIT(S). NUMBER OF UNITS TO BE DETERMINED BY THE LOCAL MECHANICAL CONTRACTOR.
18. A/C UNIT LOCATION(S) ARE NOT TO BE WIRED NEXT TO MASTER BEDROOM OR PATIO AREA.
19. PANEL BOX TO BE SIZED TO ACCOMMODATE ALL CALCULATED LOADS AND PROVIDE FOR A MINIMUM OF EIGHT SPARES.
20. DECORATIVE LIGHT FIXTURES TO BE SELECTED BY THE OWNER AND COORDINATED WITH THE GENERAL CONTRACTOR. THE OWNER TO APPROVE ALL SUBSTITUTIONS.
21. GENERAL CONTRACTOR TO COORDINATE THE LAMP SELECTION AND RECESSED CAN SIZE AND TRIM WITH THE OWNER.
22. ELECTRIC AND GAS METERS TO BE LOCATED AWAY FROM ANY PROMINENT VIEW.

15. GENERAL CONTRACTOR TO COORDINATE GAS SERVICE REQUIREMENTS WITH THE OWNER.
16. GENERAL CONTRACTOR TO CONSULT AND COORDINATE WITH THE OWNER AND THE PLANS FOR ALL BUILT IN REQUIREMENTS INCLUDING SHELVING, CLOSETS, PANTRY, BOOKCASES, ETC.

GENERAL HVAC SYSTEM NOTES

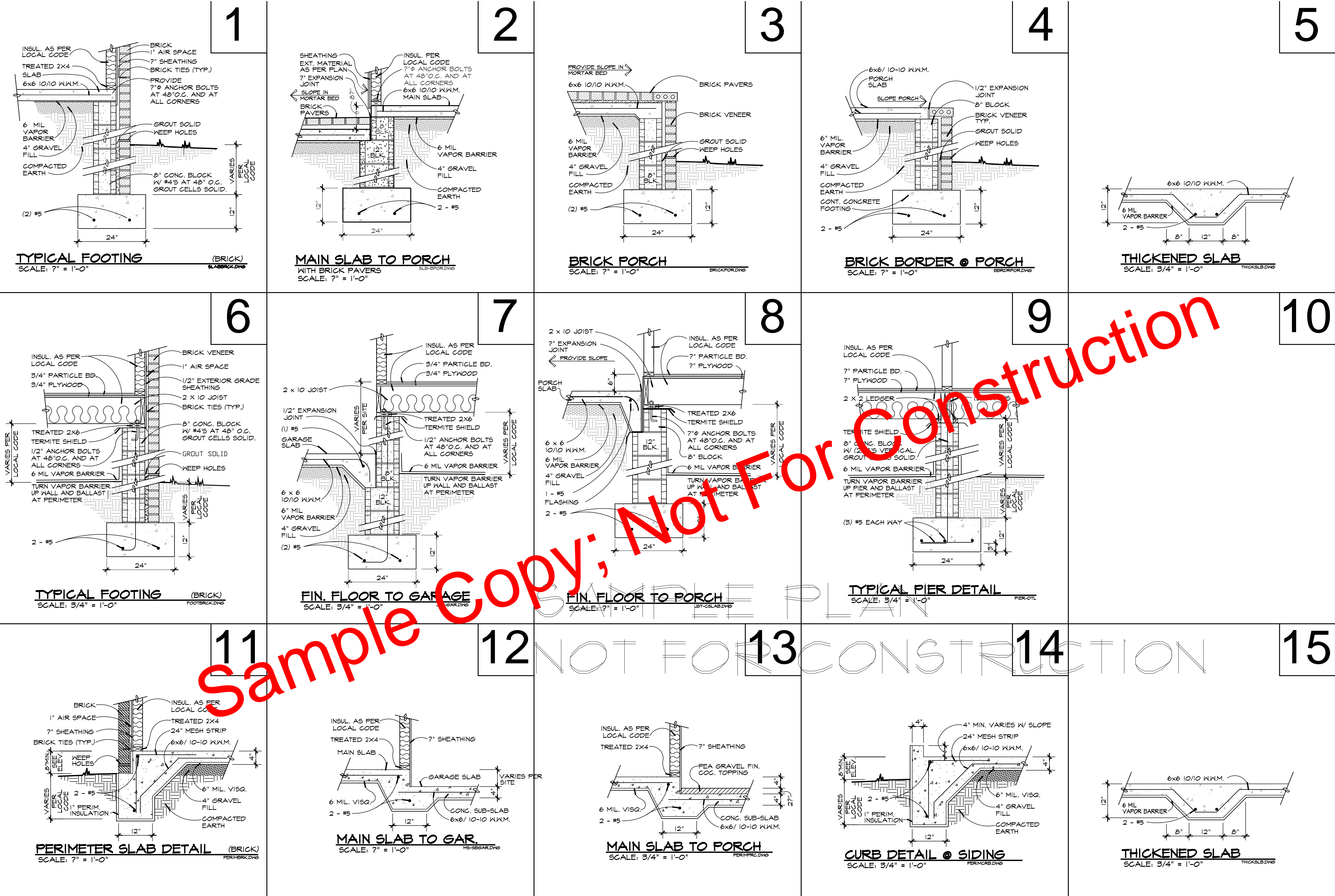
1. MECHANICAL SUBCONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL APPLICABLE CODES AND SAFETY REQUIREMENTS.
2. HVAC SUBCONTRACTOR TO FULLY COORDINATE ALL SYSTEM DATA AND REQUIREMENTS WITH THE EQUIPMENT SUPPLIER. HVAC SUBCONTRACTOR TO PROVIDE FINAL SYSTEM LAYOUT DRAWING AND SUBMIT IT TO GENERAL CONTRACTOR, OWNER AND EQUIPMENT SUPPLIER FOR FINAL REVIEW AND APPROVAL.
3. HVAC SYSTEM IS COMPRISED OF BASIC ZONE(S). FOR THE FIRST FLOOR AREA AND N/A FOR THE SECOND FLOOR AREA(IF APPLICABLE). THE NUMBER OF ZONES IS TO BE DETERMINED BY YOUR LOCAL MECHANICAL CONTRACTOR. IF BUILT ON A CONVENTIONAL FOUNDATION, FIRST FLOOR TO HAVE A GAS PACK UNIT AND THE SECOND FLOOR AIR HANDLER AND FURNACE TO BE LOCATED IN THE ATTIC ABOVE THE MAIN HOUSE SECOND FLOOR. IF BUILT WITH A BASEMENT LOCATE AIR HANDLERS AND FURNACE IN BASEMENT WHEN POSSIBLE. OTHERWISE LOCATE UNITS IN THE ATTIC.
4. PROVIDE DUCTING FOR ALL EXHAUST FANS, THE VENT-A-HOOD, AND THE DRYER VENT.
5. SEE THE GENERAL ELECTRICAL NOTES FOR THE LOCATION OF SARKS AND RAG'S IN RELATION TO THE LIGHT FIXTURES.
6. ALL THERMOSTATS TO BE LOCATED DIRECTLY ABOVE ADJACENT LIGHT SWITCHES.
7. DO NOT LOCATE UNIT(S) AT MASTER BEDROOM OR PATIO AREA.
8. ATTIC HVAC UNIT(S) TO BE LOCATED WITHIN 20 FT. OF THEIR SERVICE OPENING. DO NOT LOCATE RETURN AIR GRILLES WITHIN 10 FT. OF A GAS FIRED APPLIANCE.
9. DO NOT LOCATE UNIT(S) OVER AREAS WITH A SPAN MORE THAN 10'-0".
10. ALL MECHANICAL AND PLUMBING VENT STACKS INCLUDING GAS FLUES TO BE LOCATED TOGETHER IN THE ATTIC TO MINIMIZE ROOF PENETRATIONS. VENT STACKS TO BE LOCATED TO THE REAR OF THE HOUSE AWAY FROM PROMINENT VIEW. ALL VENT STACKS AND FLUES TO BE PRIMED AND PAINTED TO CLOSELY MATCH THE ROOF COLOR.

15. GENERAL CONTRACTOR TO COORDINATE GAS SERVICE REQUIREMENTS WITH THE OWNER.
16. GENERAL CONTRACTOR TO CONSULT AND COORDINATE WITH THE OWNER AND THE PLANS FOR ALL BUILT IN REQUIREMENTS INCLUDING SHELVING, CLOSETS, PANTRY, BOOKCASES, ETC.

ALLOWANCES

COORDINATE W/ OWNER, INTERIOR DESIGNER, BUILDER		
ITEM	INSTALLED COST	PER
CARPET & PAD		SQ. YD.
LUXURY VINYL PLANKS (LVP)		SQ. FT.
CERAMIC TILE		SQ. FT.
HARDWOOD		SQ. FT.
KIT. & BATH TOPS (HRD. SURF.)		SQ. FT.
KITCHEN & BATH CABINETS		TOTAL JOB
BUILT-IN CABINETS & DESK(S)		TOTAL JOB
KITCHEN APPLIANCES		TOTAL PKG.
WALLPAPER		DOUBLE ROLL
LIGHTING FIXTURES		TOTAL PKG.
MASTER TUB		EACH
BATH ACCESSORIES (FIXTURES, TOWEL BARS, PAPER HOLDERS ETC.)		PER BATH
STAIR & RAILINGS		TOTAL PKG.
INTERIOR MOULDING		PER ROOM
LANDSCAPING		TOTAL JOB

15. GENERAL CONTRACTOR TO COORDINATE GAS SERVICE REQUIREMENTS WITH THE OWNER.
16. GENERAL CONTRACTOR TO CONSULT AND COORDINATE WITH THE OWNER AND THE PLANS FOR ALL BUILT IN REQUIREMENTS INCLUDING SHELVING, CLOSETS, PANTRY, BOOKCASES, ETC.



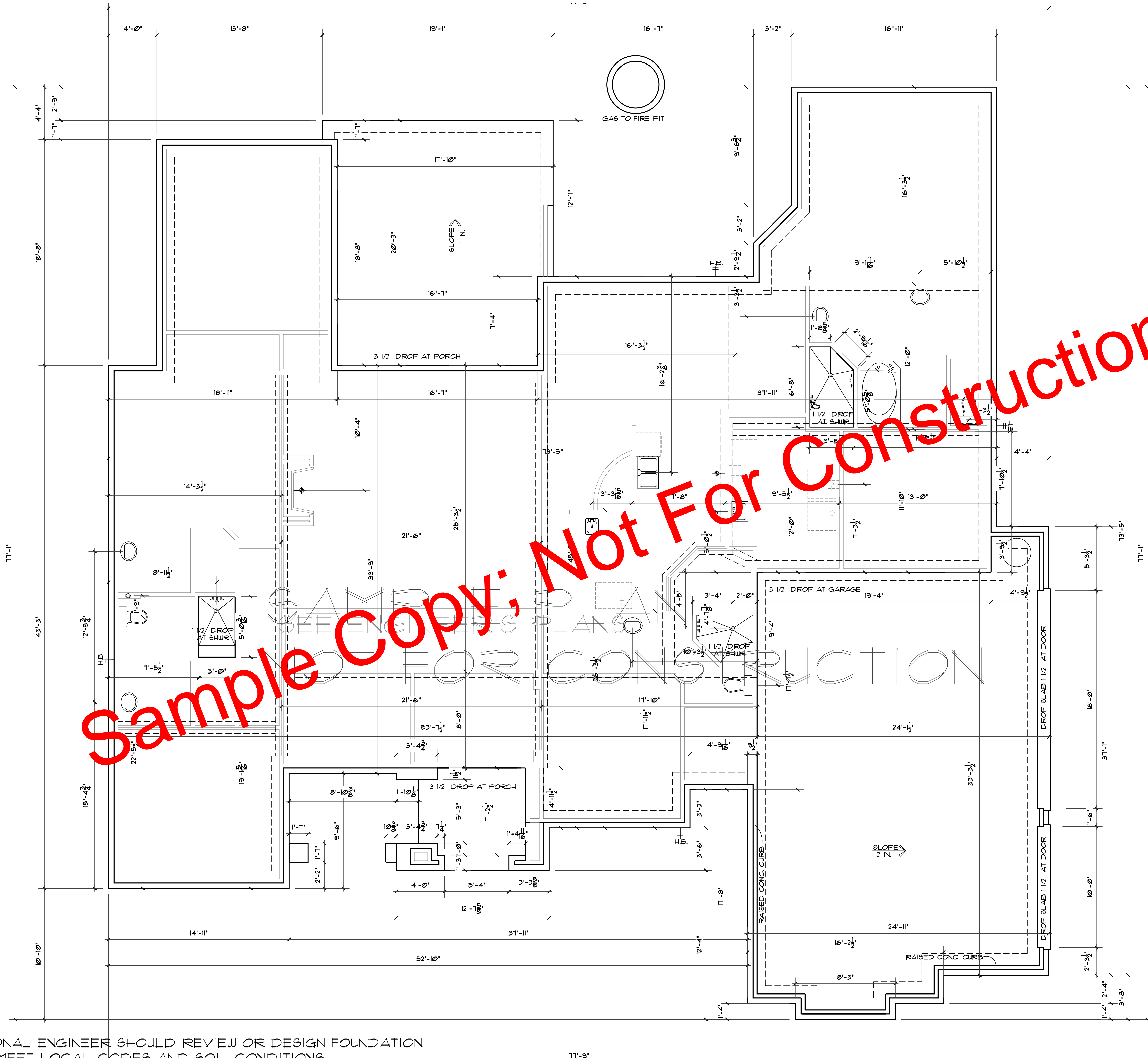
BLOCK/SLAB

CRAWL SPACE

MONO SLAB

THESE ARE TYPICAL CONCEPTUAL FOUNDATIONS DETAILS

NOTE:
A PROFESSIONAL ENGINEER SHOULD REVIEW OR DESIGN FOUNDATION
DETAILS TO MEET LOCAL CODES AND SOIL CONDITIONS.



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MUST BE NOTIFIED IN WRITING OF ANY HUMAN ERRORS AND GIVEN TIME TO CORRECT ANY ERRORS BEFORE YOU CONTINUE WORK.

THE DESIGNER ASSUMES NO RESPONSIBILITY OVER ANY PHASE OF CONSTRUCTION OR METHODS, CONSTRUCTION COSTS, QUALITY OF MATERIALS, OR WORKMANSHIP. THE DESIGNER SHALL NOT BE HELD RESPONSIBLE FOR ON-SITE DEVIATIONS FROM THE DESIGN RESULTING FROM UNREPORTED CHANGES BY BUILDER, SUBCONTRACTORS OR HOME OWNERS.

HEREBY GRANTS PERMISSION TO BUILD ONLY ONE STRUCTURE FROM THIS SET OF PLANS. ANY OTHER CONSTRUCTION BEYOND THE STRUCTURE FOR WHICH THIS PLAN WAS PURCHASED IS STRICTLY PROHIBITED.

NOTE:

THE FOUNDATION/SLAB AND FRAMING MUST BE DESIGNED BY A PROFESSIONAL ENGINEER IN YOUR AREA TO MEET LOCAL CODES AND SOIL CONDITIONS.

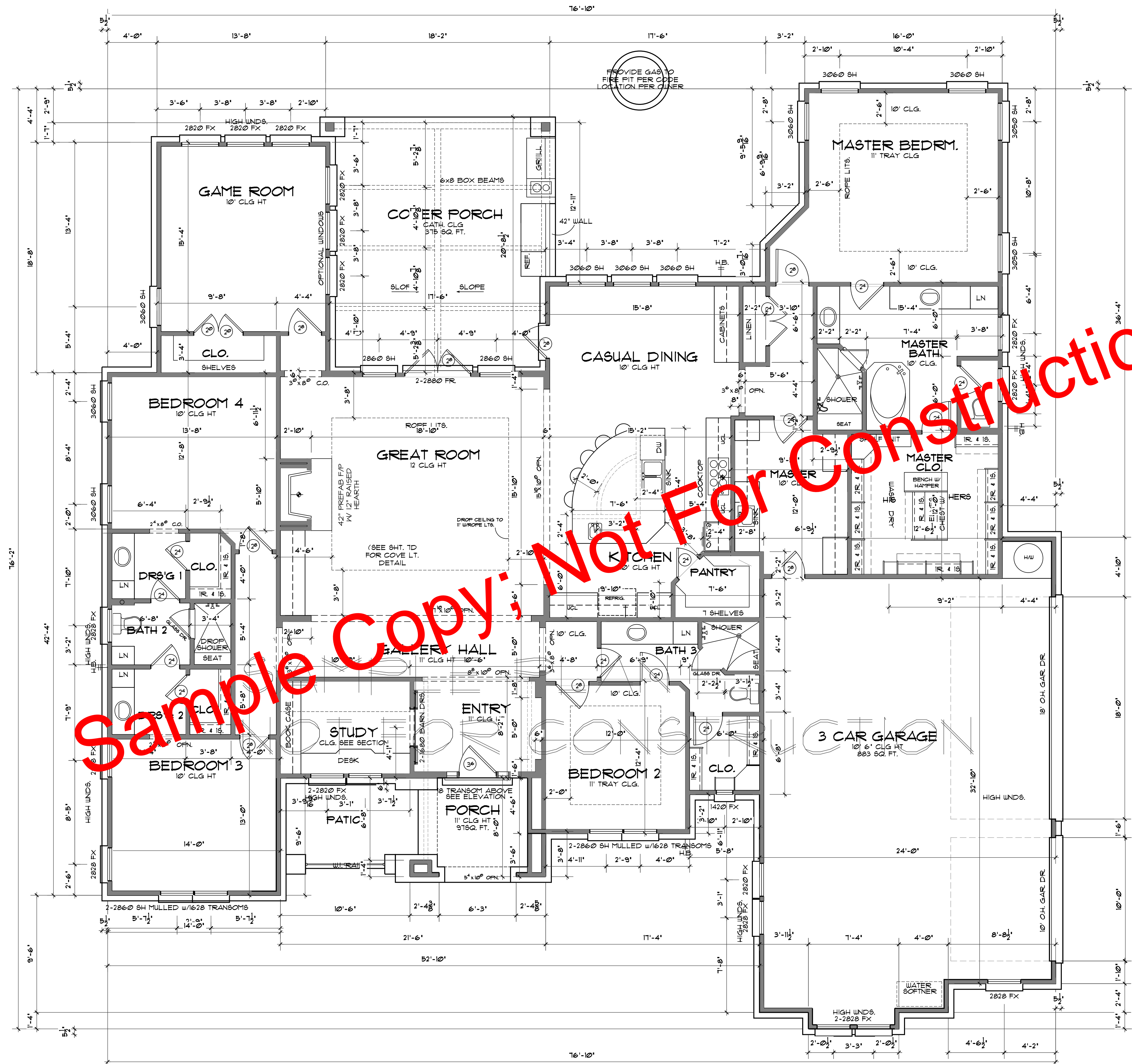
NOTE:

A PROFESSIONAL ENGINEER SHOULD REVIEW OR DESIGN FOUNDATION DETAILS TO MEET LOCAL CODES AND SOIL CONDITIONS.

71'-9"

SLAB LAYOUT

SCALE: 1/4" = 1'-0"



BATH NOTES:

- TILE FLOORS (AT ALL WET AREAS)
- TILE WALLS AT TUB (SECONDARY BATHS)
- FULL TILE AT ALL SHOWERS
- SOLID SURFACE COUNTER TOPS AND SPLASHES
- ALL GLASS AT TUBS AND SHOWERS SHALL BE
TEMPERED SAFETY GLASS AND MUST COMPLY WITH
2008 (IRC 2008)
- SHOWER STALLS (WITH SHOWER HEADS)
WALLS TO BE FINISHED WITH NON ABSORBENT
DRAIN INLET OVER CONC. BACKERBOARD
R301.
- ALL PLUMBING FIXTURES SHALL BE SPACED PER
R301
- ALL BATH AND TOILET AREA WALLS SHALL HAVE
WATER RESISTANT GYPSUM BOARD.

DIMENSION NOTES:

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. (DO NOT SCALE)
- ALL FLOOR PLANS, DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY.
- ON FOUNDATION PLANS, DIMENSIONS ARE TO EDGE OF FOUNDATION AND THE 5 1/2" DIMENSION SHOWS MASONRY LEDGE TO FRAME.
- ON THE INTERIOR ELEVATIONS, DIMENSIONS ARE TO FACE OF SHEETROCK.
- LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.

UNLESS OTHERWISE NOTED:

1. GYF. BOARD WALLS AND CEILINGS
10'-0" CLG. HT. AT FIRST FLOOR
2. ALL ANGLES TO BE 45 DEGREES
3. EXTERIOR DOORS SHALL BE 1 3/4" S.C.
4. 8'-0" DOOR HT.
5. ALUMN FRAME SINGLE HUNG WINDOWS
8'-0" HEADER HT. FIRST FLOOR
6. ALL BEDROOM WINDOWS TO BE 44" AFF. (MAX.)
X 24" X 24" MIN. WIDTH (MIN.) WITH 5.1
SQ. FT. (MIN.) NET CLEAR OPENING
WHEN DOORS ARE USED FOR EMERGENCY
EGRESS, IT SHALL BE OPERATIONAL FROM
THE INSIDE WITHOUT THE USE OF KEYS OR
TOOLS.
7. ALL GLAZING WITHIN HAZARDOUS LOCATIONS
HAVE SAFETY GLASS IN COMPLIANCE WITH
R308 (IRC 2009)
8. ALL EGRESS DOORS & WINDOWS SHALL HAVE
LOCKS ALLOWING EGRESS WITHOUT THE USE
OF A KEY, AND MEET R308 & R311
9. SMOKE DETECTORS REQUIRE 10V CONNECTION
TO HOUSE WIRING AND BATTERY BACKUP,
LOCATIONS TO COMPLY WITH R314 (2009),
MULTIPLE UNITS SHALL BE CONNECTED
TO ACTIVATE ALL ALARMS CONSULT MANUF.
RECOMMENDATIONS FOR DISTANCE FROM R/S
10. CHIMNEYS TO BE 3'-0" MIN. ABV. THE HIGHEST
POINT WHERE THEY PASS THROUGH THE ROOF
AND AT LEAST 2'-0" MIN. HIGHER THAN ANY
PORTION OF THE ROOF OF 12' RADIUS,
11. ALL PREFAB FIREPLACES TO BE UL & IRC
2009 APPROVED & A COPY OF THE MANUF.
INSTALLATION MANUAL SHALL BE AVAILABLE
AT JOB SITE FOR INSPECTOR'S REVIEW.
12. A CARBON MONOXIDE DETECTOR SHALL BE
INSTALLED IN BEDROOMS WITH A GAS FIRE-
PLACE IS INSTALLED AND OUTSIDE EACH
SEPARATE SLEEPING AREA IN THE IMMEDIATE
VICINITY OF THE BEDROOMS WHICH FUEL-
FIRE APPLIANCES ARE INSTALLED AND OR
HAVE ATTACHED GARAGES.
13. DISAPPEARING STAIRS TO BE 22"x30"
CLEAR OPENING (30"x54" R/O.) & SHALL
COMPLY WITH R801 (IRC 2009).
14. STAIRS SHALL BE 36" WIDE, SHALL BE DESIGNED
FOR UNIFORMLY DISTRIBUTED LIVE LOAD OR
350 LB CONCENTRATED LOAD ACTING OVER AN
AREA OF 4 SQ. INCHES, WHICHEVER PRODUCES
THE GREATEST STRESS.
15. ACCESS TO GARAGE CLG. MAY BE
INSTALLED PROVIDED THE EXPOSED PANEL
IS NOT LESS THAN 3/8" THICK FIRE RETARDANT
TREATED PLYWOOD, 1/2" SHEET ROCK OR
COVERED W/ A MIN. OF 16GA. SHEET METAL.
CLEAR OPENING SHALL NOT BE LESS THAN
22"x30" AS PER IRC 2009 SECTION R801!
16. STAIRWAYS SHALL COMPLY WITH R311 (IRC 2009)
SEE DETAIL S4T.
HANDRAILS TO BE 34" TO 38" ABV. NOSE OF
TREAD.
ALL GUARDRAILS AND HANDRAILS SHALL
COMPLY WITH R303.1 & R312 (IRC 2009).
GUARDRAILS TO BE 36" AFF. (MIN) WITH
SPACERS AT 4" MAX. (MIN) NOT BE R311 & R312
HAND GRIPPING PORTION OF HANDRAILS SHALL
BE NOT LESS THAN 1 1/4" NOT MORE THAN 2"
IN CROSS SECTIONAL DIMENSION OR THE SHAPE
SHALL PROVIDE AND EQUIV. GRIPPING SURFACE
COMPLY WITH (IRC 2009) SECTION R312
ENCLOSE UNDERSIDE OF STAIRWELL WITH 5/8"
TYPE "X" FIRE CODE GYP. BOARD.

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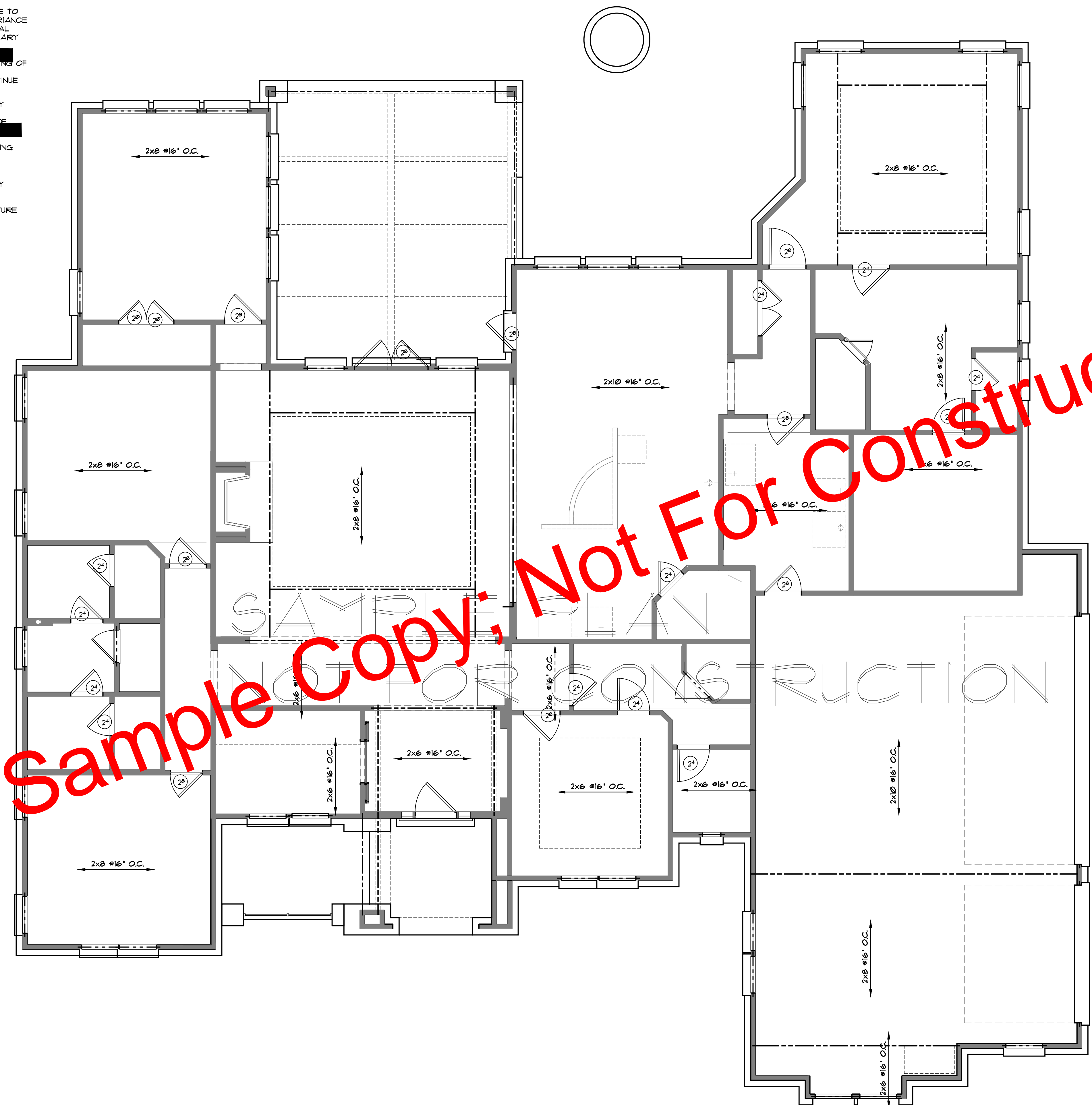
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GENERAL FRAMING NOTES:

1. ALL FRAMING MATERIAL SHALL BE #2 KD MINIMUM.
2. ALL WOOD FRAMING IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
3. PROVIDE DOUBLE FLOOR JOISTS UNDER ALL WALLS WHICH ARE PARALLEL TO FLOOR JOIST SPAN DIRECTION.
4. PROVIDE 'X' BRACING OR SOLID BLOCKING AT A MAXIMUM OF 6'-0" O.C. AT ALL FLOOR JOIST.
5. GLUE AND SCREW PLYWOOD DECKING TO FLOOR JOIST TO ENSURE A 'NONSQUEAK' FLOOR SYSTEM.
6. ALL STUD WALLS SHALL BE FRAMED AT 16" O.C.
7. ALL ANGLED WALLS SHALL BE FRAMED AT A 45 ANGLE UNLESS OTHERWISE NOTED.
8. BRACE EXTERIOR CORNERS OF STUD WALLS WITH 1 x 4 DIAGONAL BRACING LET INTO STUDS AT 45° FROM PLATE TO PLATE OR 4x8 PLYWOOD.
9. TYPICAL EXTERIOR 2x4 AND 2x6 STUD WALLS SHALL BE SHEATHED WITH 1/2" EXTERIOR GRADE PLYWOOD OR OSB. SHEATHING SHALL SPAN OVER ALL FLATES AND HEADERS.
10. ALL WALLS OVER 10'-0" HIGH SHALL BE 2x6's AT 16" O.C. AND RECEIVE 2 ROWS OF 2x6 BLOCKING AT 1/3 POINTS OF HEIGHT. BRACE WALLS WITH DIAGONAL 1x4's LET-INTO STUDS AT A 45° ANGLE.
11. PROVIDE BLOCKING AT ALL CABINET LOCATIONS.
12. PROVIDE FULL SOLID BEARING OR STUD BEARING UNDER ALL BEAM BEARING POINTS.
13. ALL BEAMS SHALL HAVE TRIPLE STUD BEARING AT EACH END.
14. ALL BEAMS AND JOIST INTERSECTIONS SHALL RECEIVE GALVANIZED BEAM HANGERS.
15. PROVIDE DOUBLE 2x6 STRONGBACK BRACING AT CENTERLINE OF CEILING JOIST SPANS OVER 10'-0".
16. PROVIDE 2x6 COLLAR TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND CEILING JOIST.
17. ALL RAFTERS SHALL BE PER ENGINEER'S DRAWINGS AT 16" O.C. UNLESS NOTED OTHERWISE ON PLANS (VERIFY SIZE AND SPACING PER LOCAL BUILDING CODE).
18. PROVIDE 2x4 RAFTER TIES AT ALL FLATES WHERE JOIST RUN PERPENDICULAR TO RAFTERS.
19. HIP VALLEY RAFTERS AND RIDGE BOARDS SHALL BE ONE SIZE LARGER THAN TYPICAL RAFTERS.
20. UNLESS OTHERWISE NOTED, DOORS SHALL BE LOCATED 6" FROM ANY ADJACENT WALL, OR CENTERED BETWEEN TWO ADJACENT WALLS.
21. ATTIC ACCESS SHALL BE NOT LESS THAN 22"x30". ATTIC STAIRS SHALL HAVE A 25 1/2"x54" ROUGH OPENING AND SHALL BE LOCATED TO PROVIDE 30" MIN. CLEAR HEAD ROOM ABOVE THE ACCESS OPENING.



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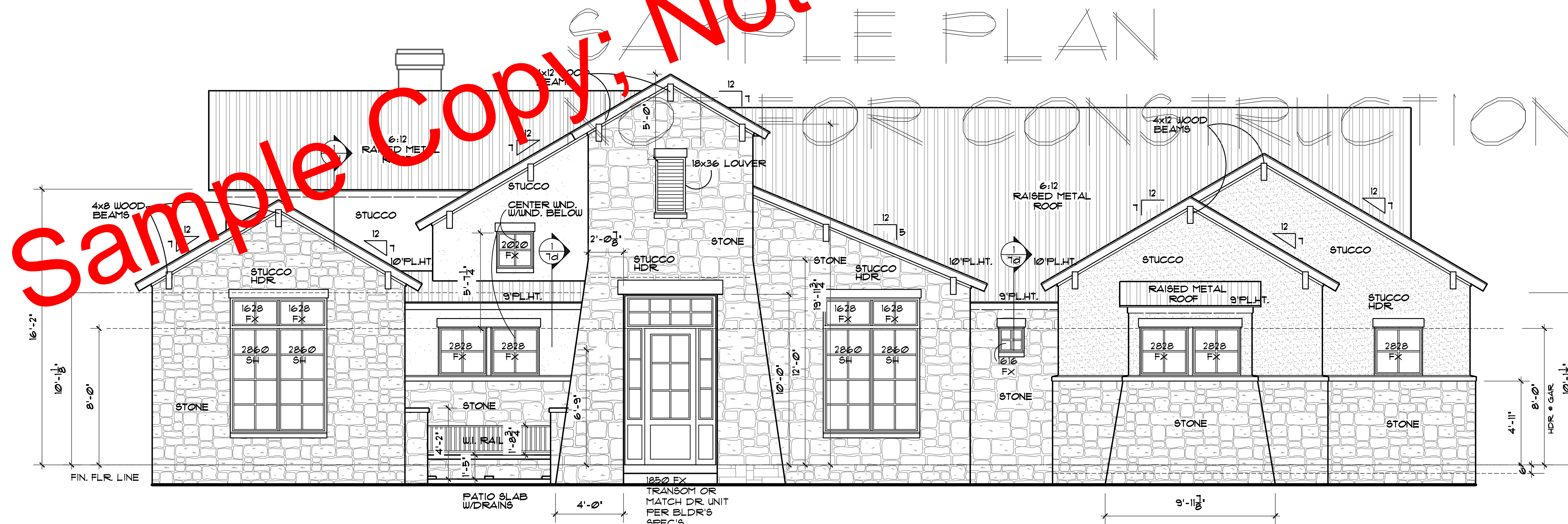
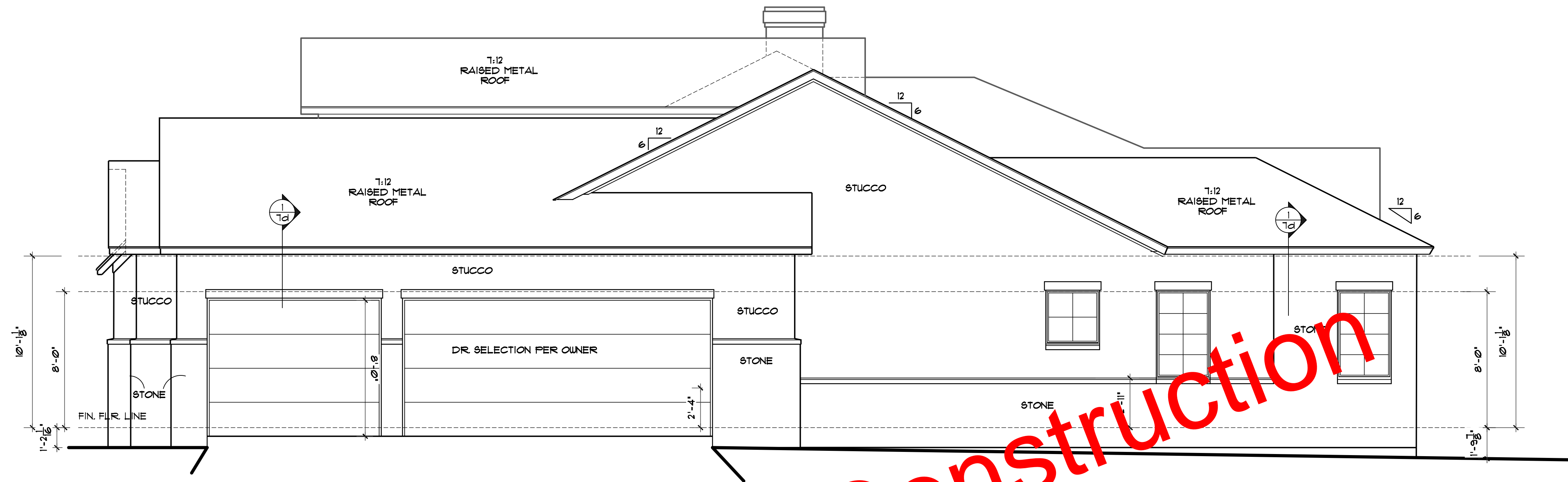
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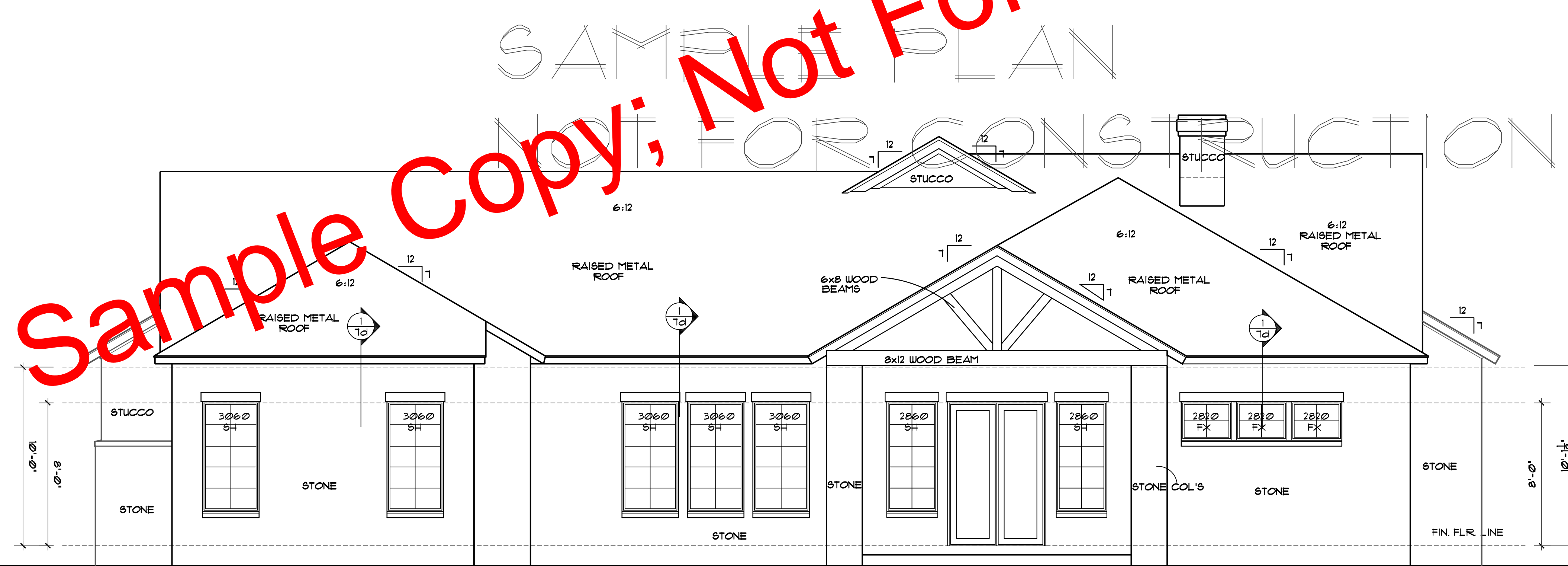
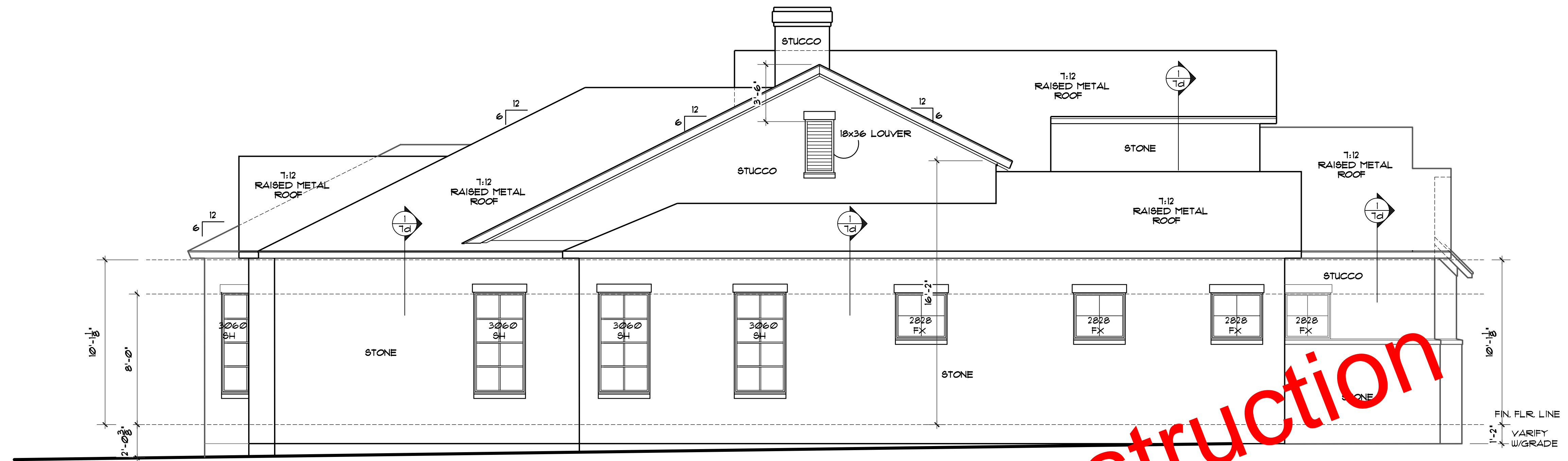


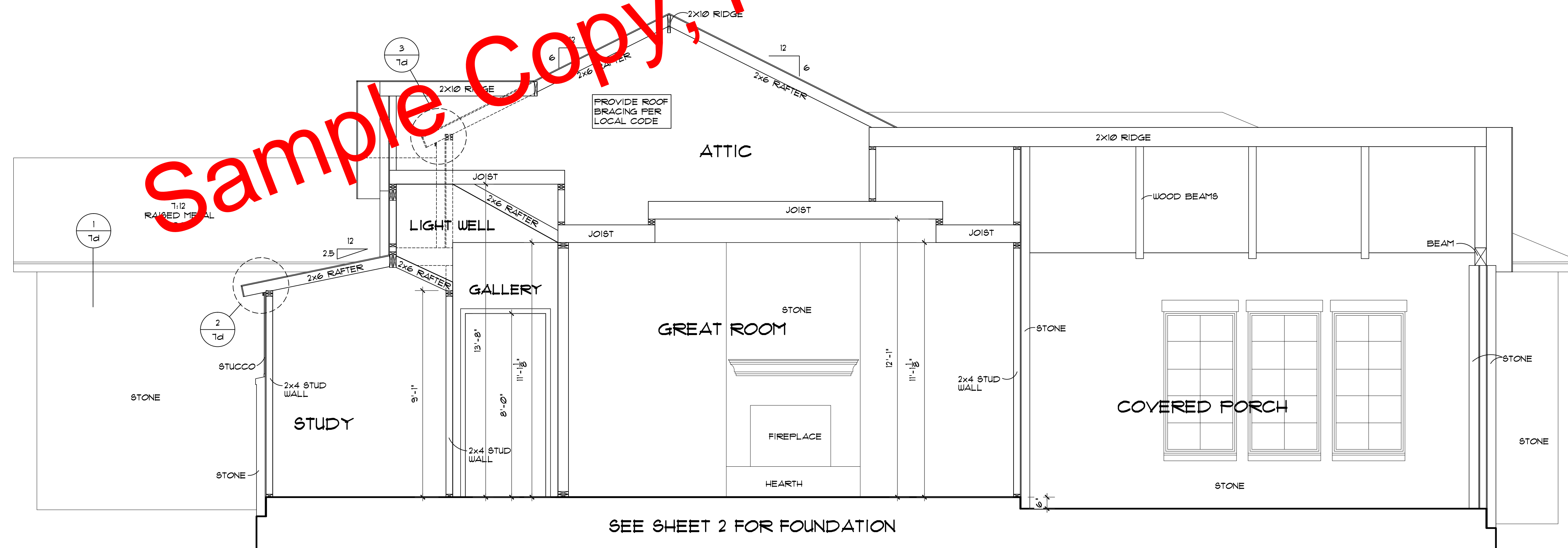
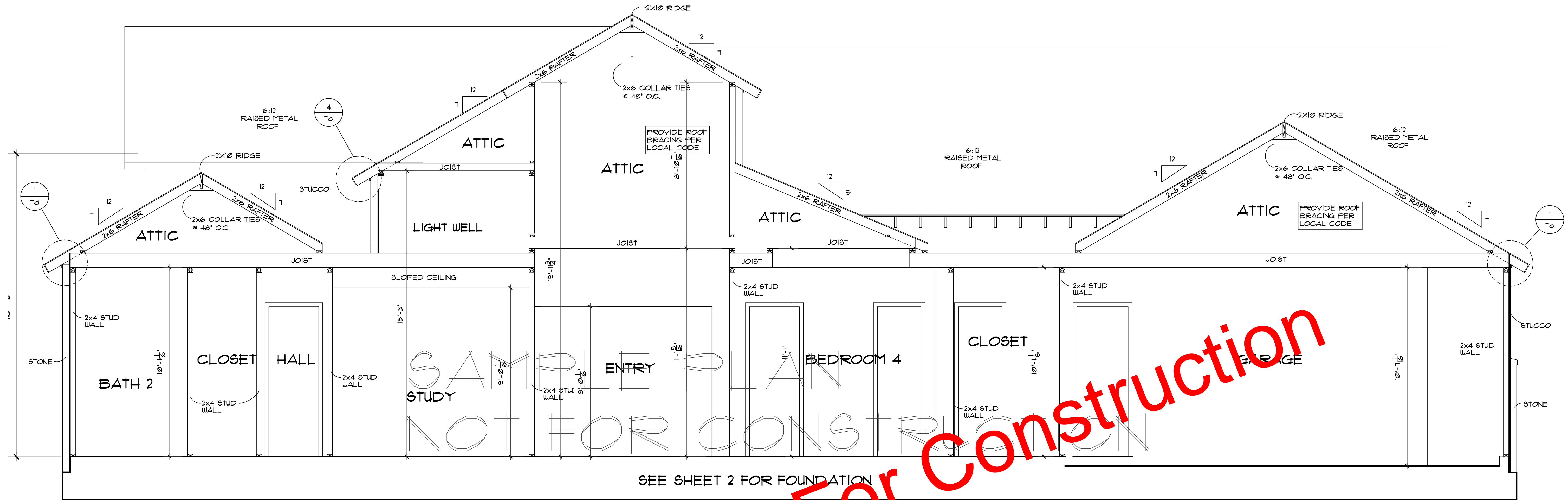
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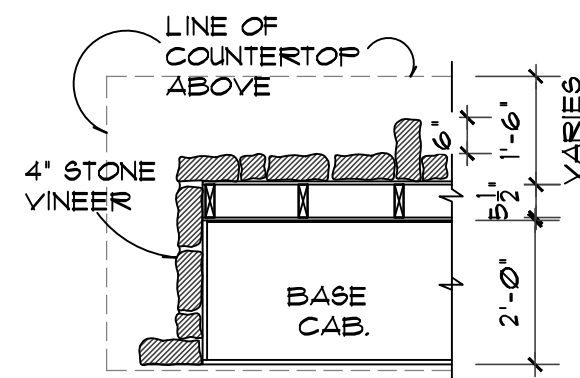
- REFRIGERATOR
- FREEZER
- ELECTRIC RANGE
- MICROWAVE
- WASHER
- DRYER
- DISHWASHER/GARBAGE DISPOSAL
- FURNACE
- HEAT PUMP
- AIR CONDITIONER
- HOT TUB/SAUNA/JACUZZI

THE RULE OF THUMB IS THIS: IF THE APPLIANCE IS FIXED AND HAS ITS OWN MOTOR OR IF ITS CRITICAL TO YOUR COMFORT OR SAFETY, IT PROBABLY NEEDS ITS OWN DEDICATED CIRCUIT.

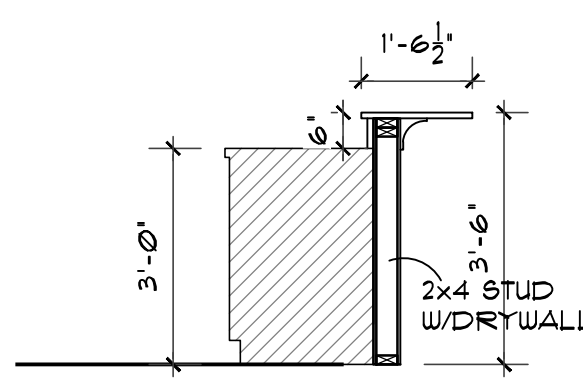




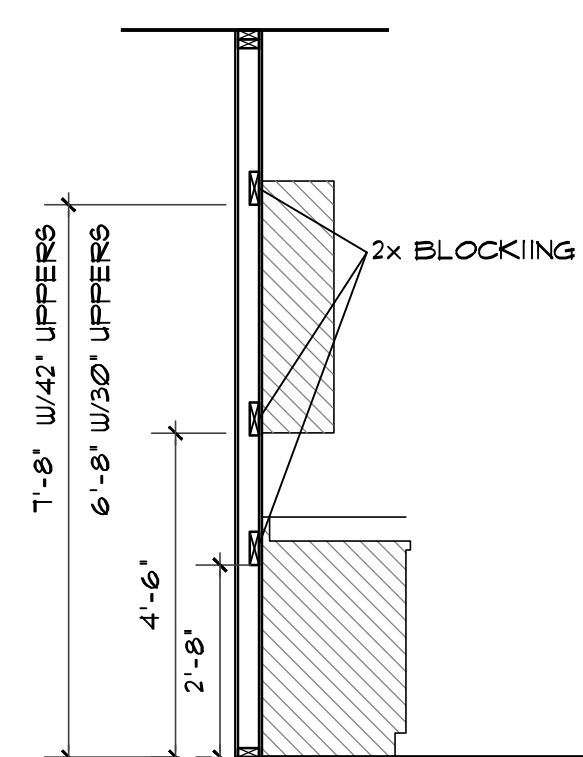




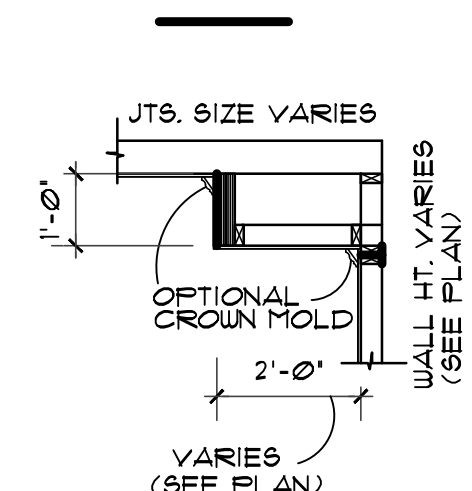
STONE RETURN
AT ISLAND
SCALE: NTS



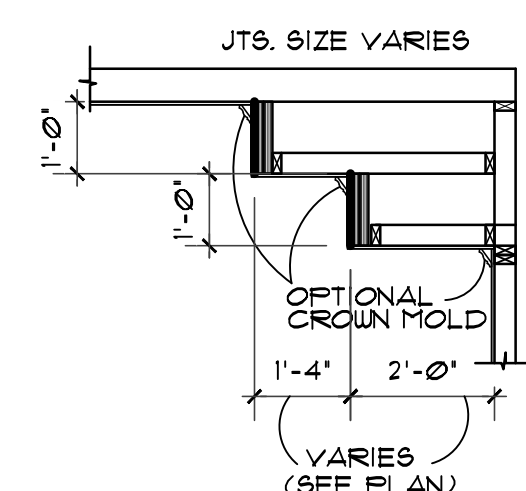
BAR DETAIL
SCALE: NTS



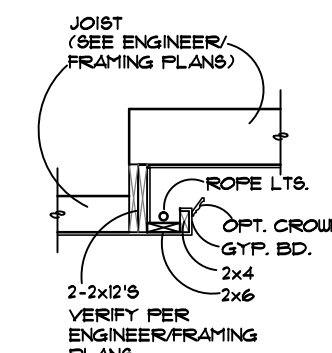
CABINER BLOCKING
SCALE: NTS



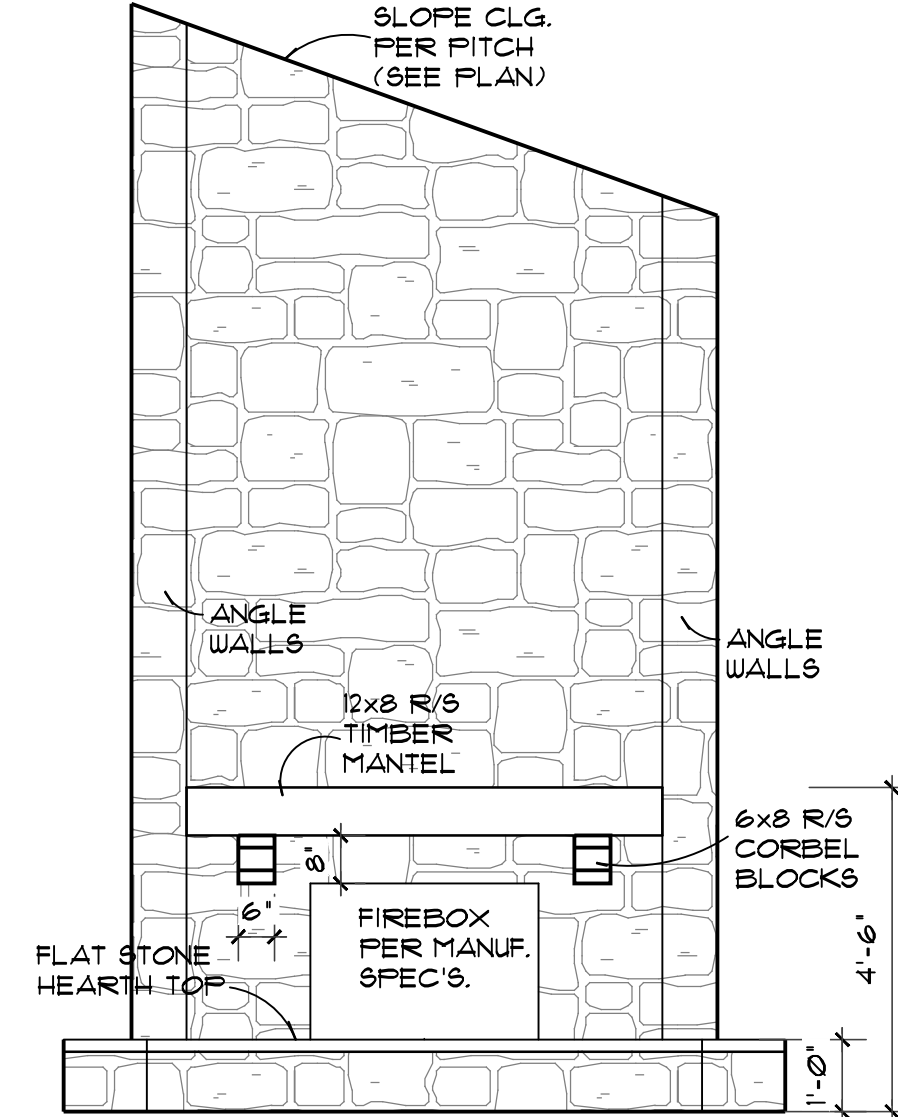
1 & 2 STEP TRAY CLG. SECT.
NOT TO SCALE:



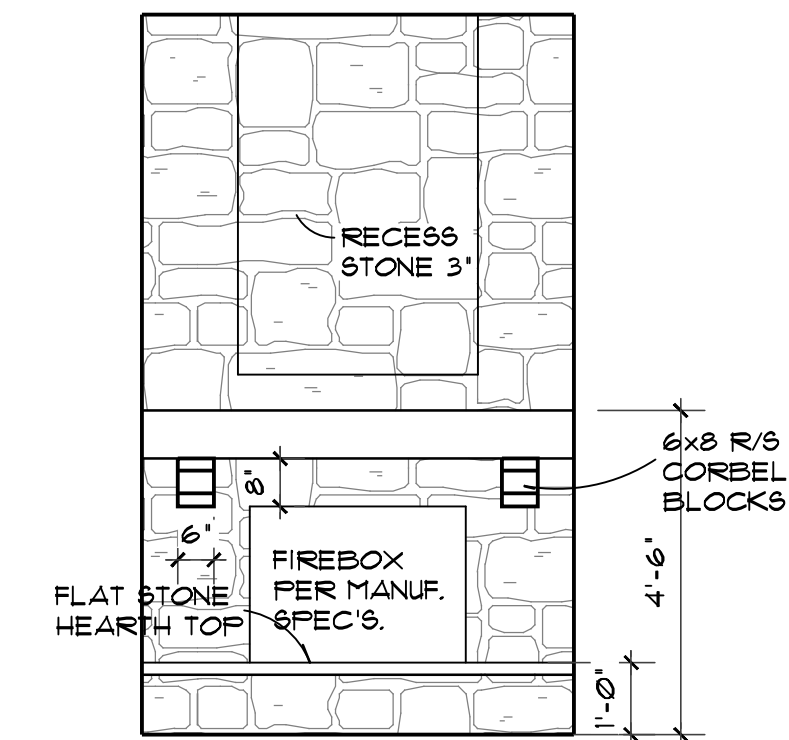
COFFERED CLG.
NOT TO SCALE:



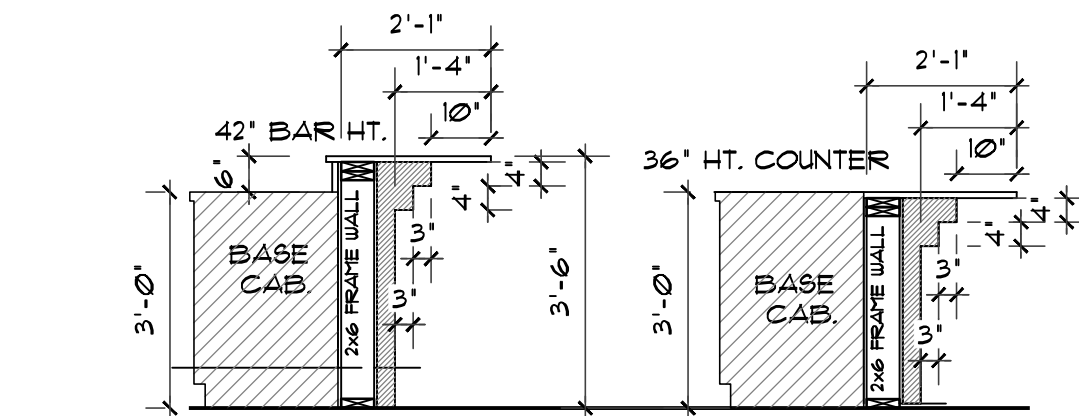
COVE LT. DETAIL
SCALE: 3/8" = 1'-0"



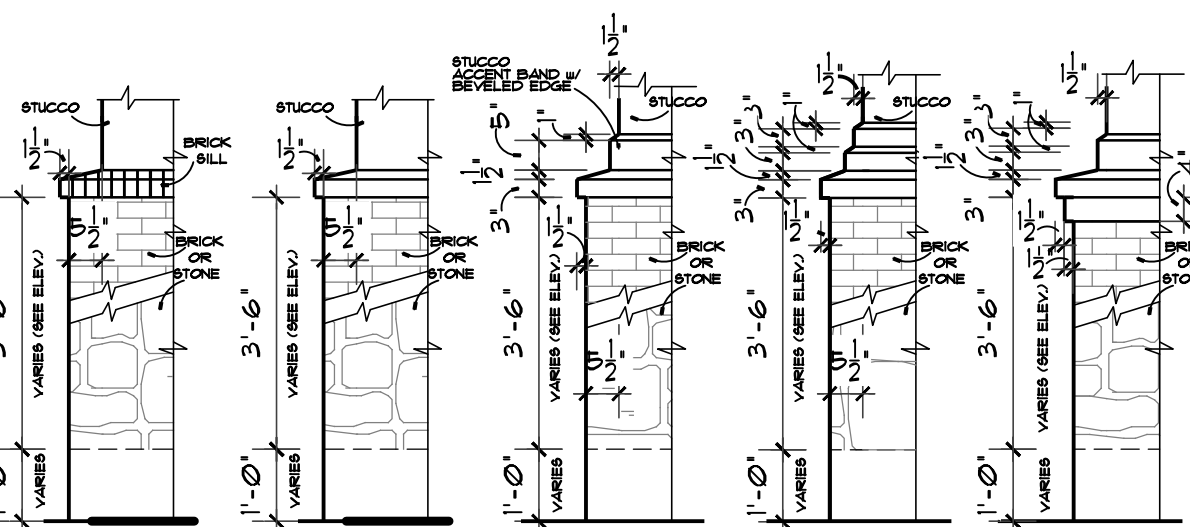
CORNER FIREPLACE
SCALE: 3/8" = 1'-0"



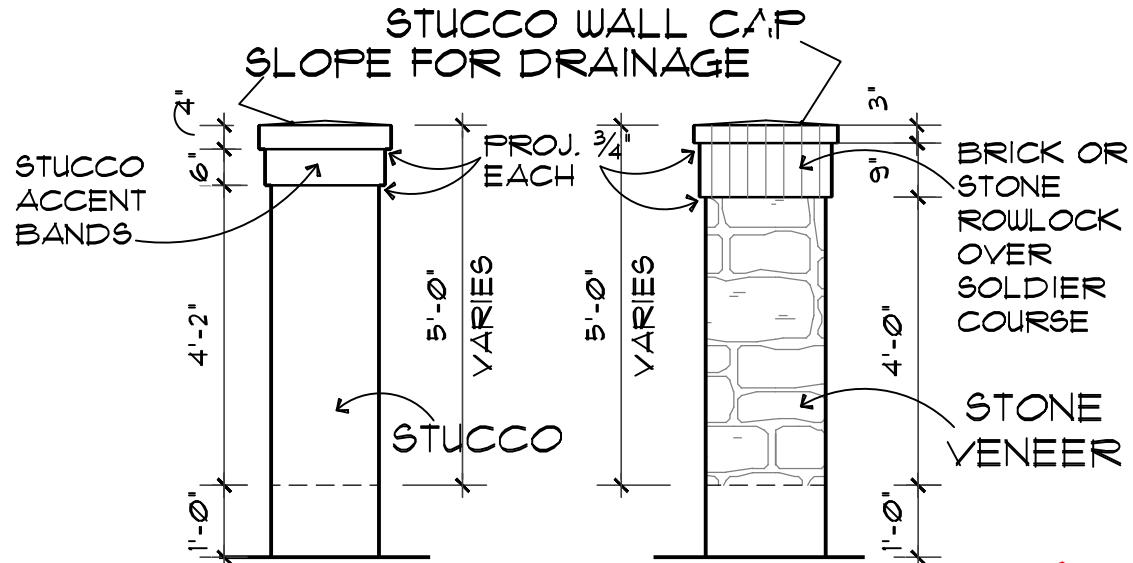
OPTIONAL FIREP!



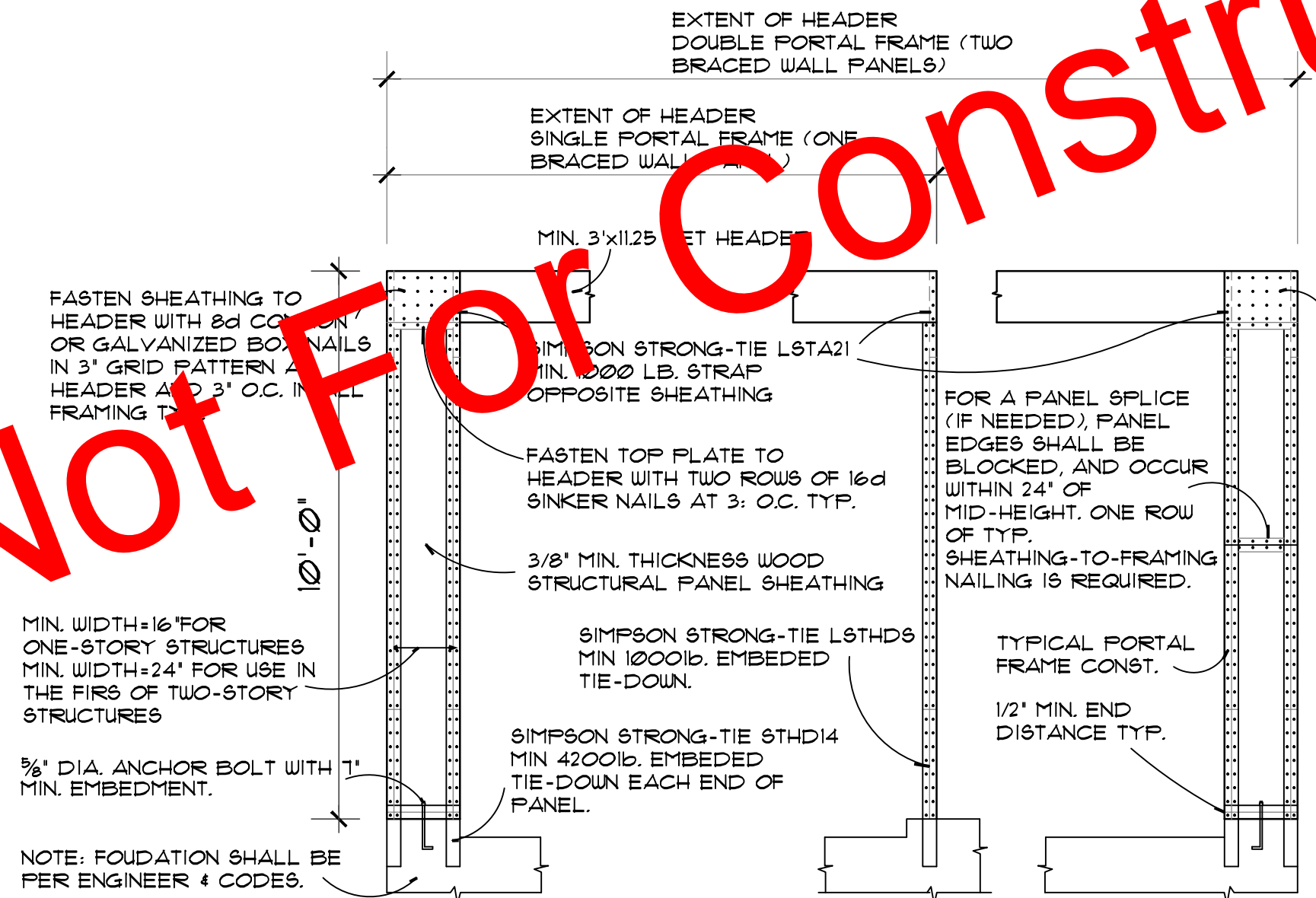
STONE CORBEL AT BAR
SCALE: NTS



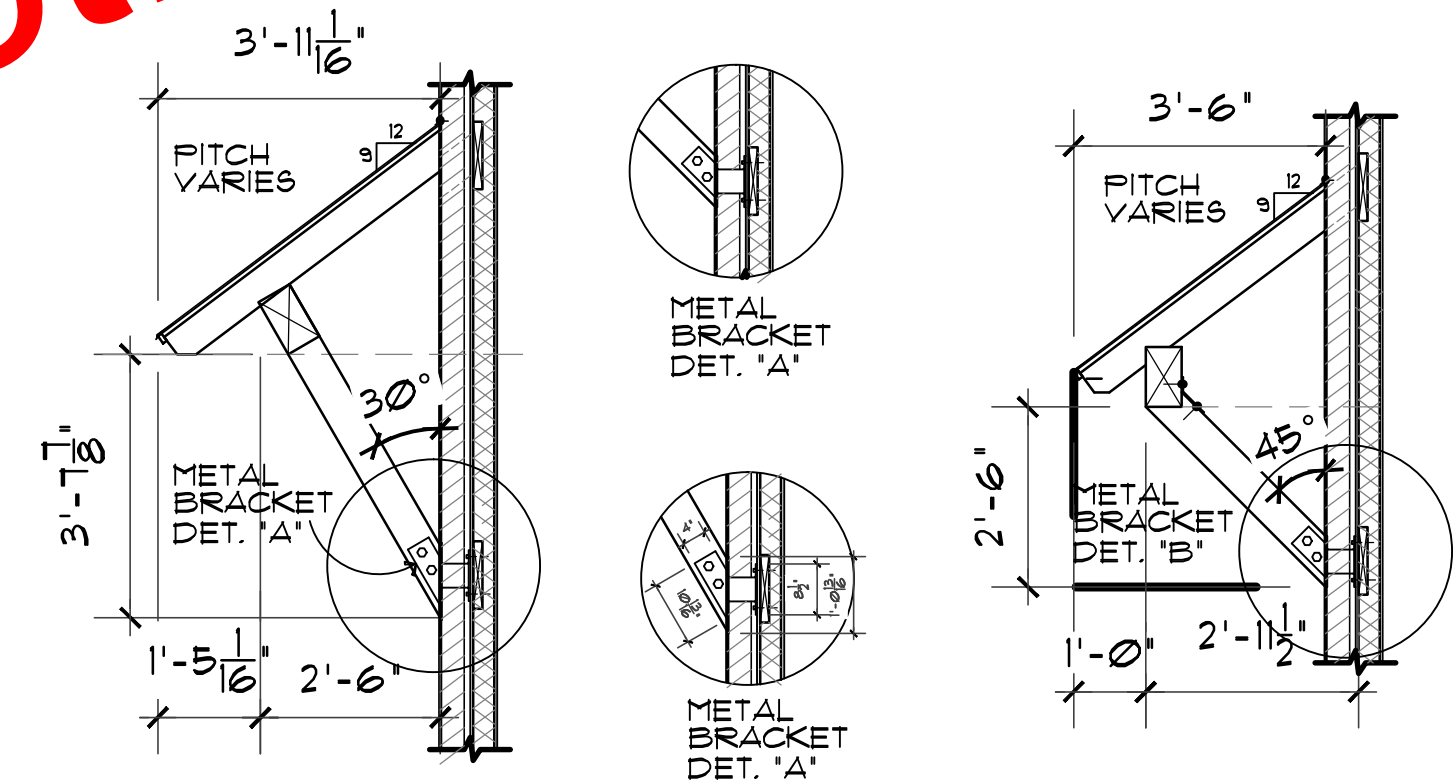
STYLE 'A' STYLE 'B' STYLE 'C' STYLE 'D' STYLE 'E'
WAINSCOT CAP DETAILS
SCALE: 3/8" = 1'-0"



TYP. COURTYARD WALLS
SCALE: 3/8" = 1'-0"



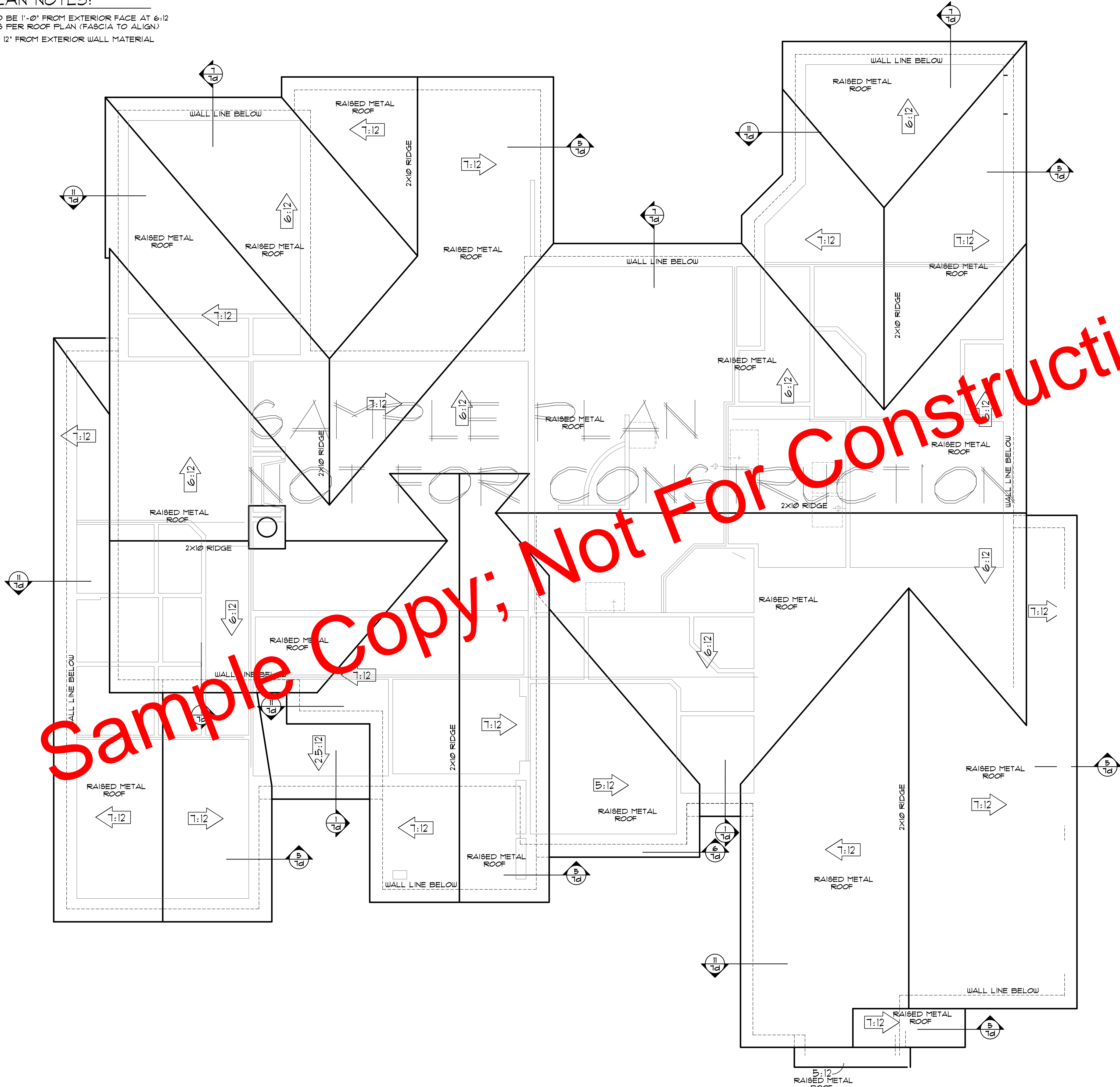
PORTAL FRAME WITH HOLDOWNS
SCALE: NTS



AWNING AT GABLE
SCALE: 3/8" = 1'-0"

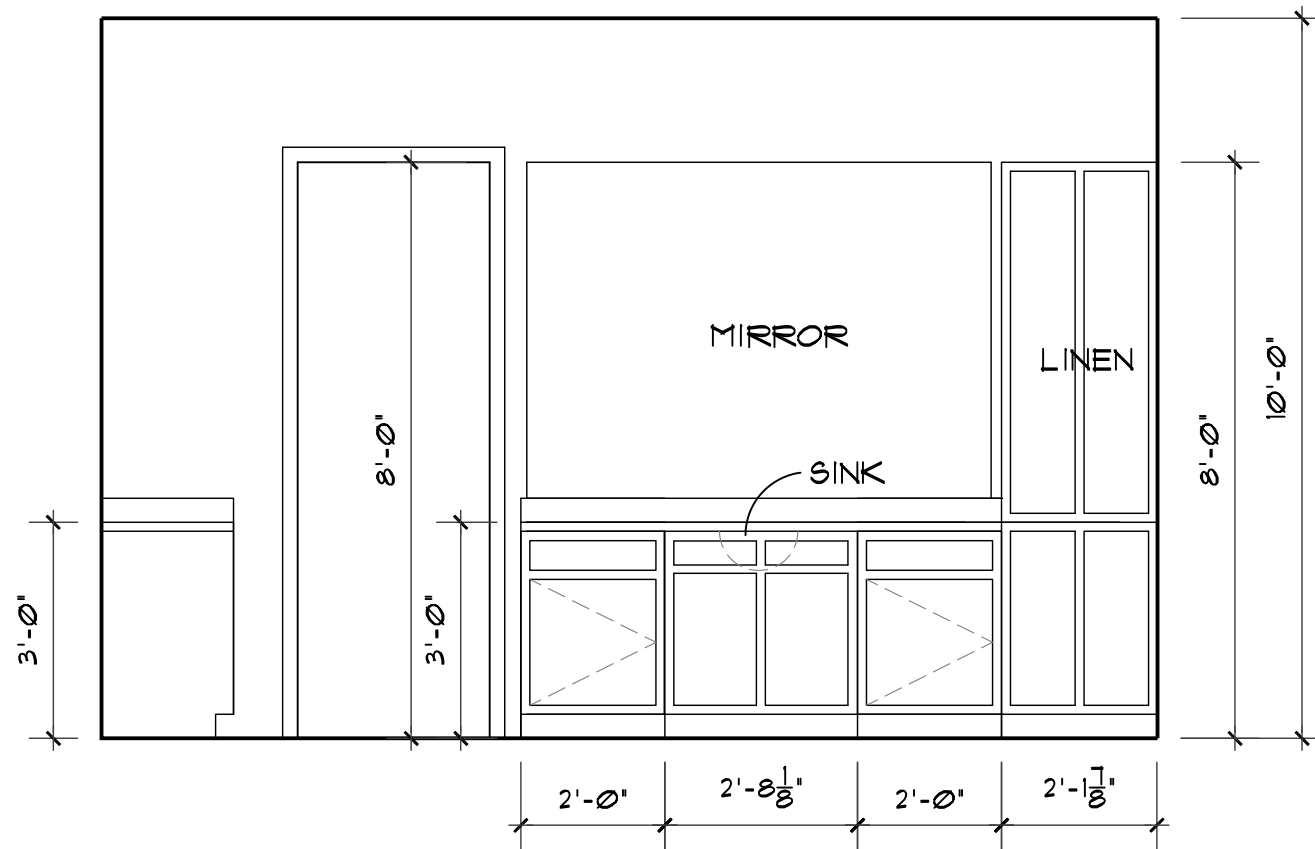
ROOF PLAN NOTES:

- OVERHANG TO BE 1'-0" FROM EXTERIOR FACE AT 6:12 PITCH OTHERS PER ROOF PLAN (FASCIA TO ALIGN)
- RAKES TO BE 12" FROM EXTERIOR WALL MATERIAL

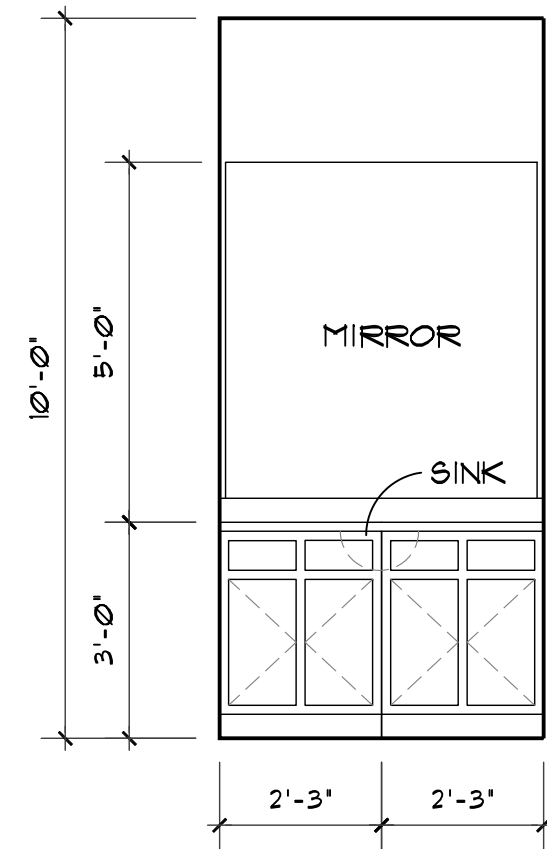


ROOF FRAMING NOTES:

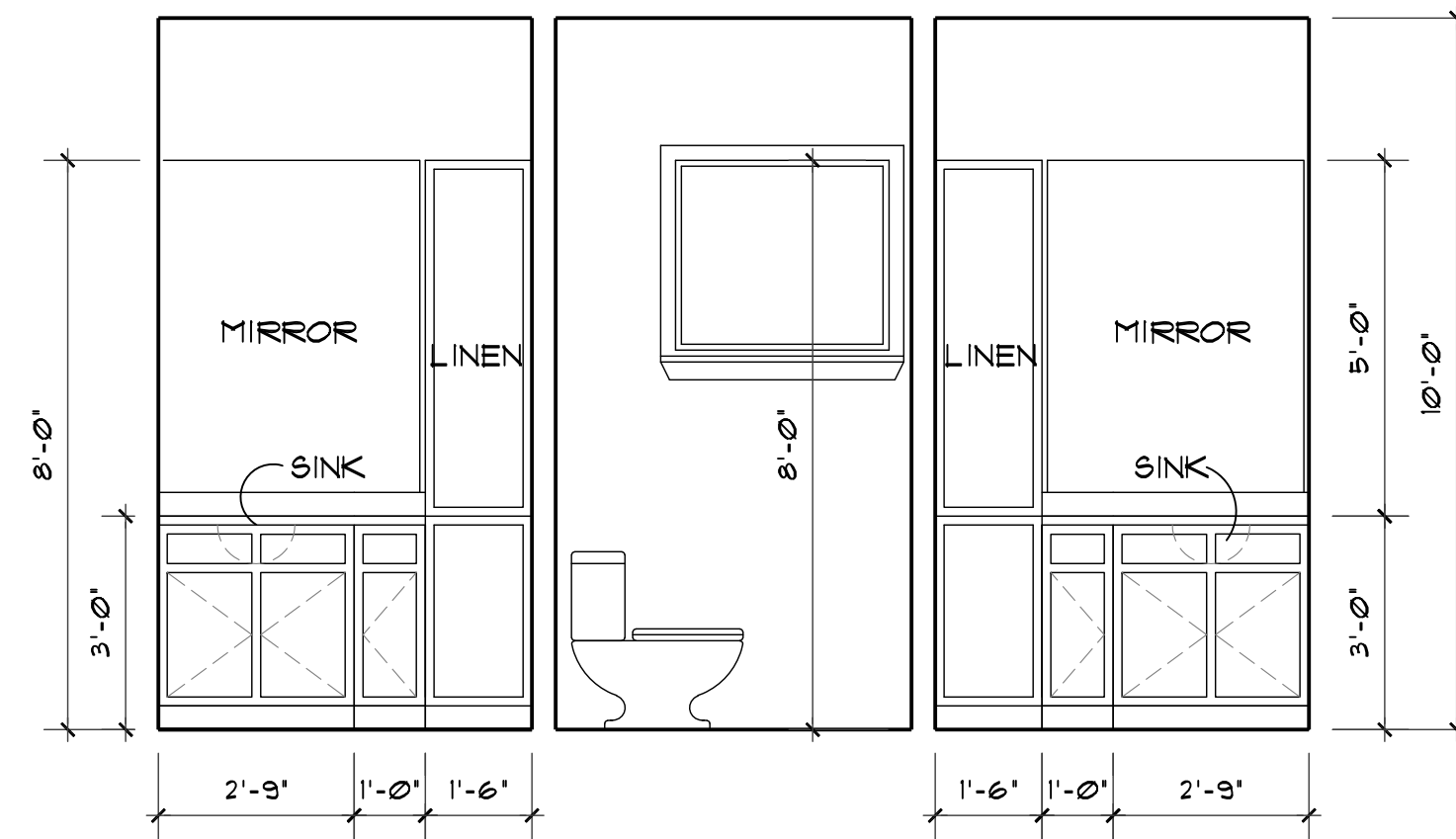
- ALL RAFTERS SHALL BE PER ENGINEER'S DRAWINGS AT 16' O.C. UNLESS NOTED OTHERWISE ON PLANS (VERIFY SIZE AND SPACING PER LOCAL BUILDING CODE).
- PROVIDE 2x4 RAFTER TIES AT ALL PLATES WHERE JOIST RUN PERPENDICULAR TO RAFTERS.
- HIP VALLEY RAFTERS AND RIDGE BOARDS SHALL BE ONE SIZE LARGER THAN TYPICAL RAFTERS.



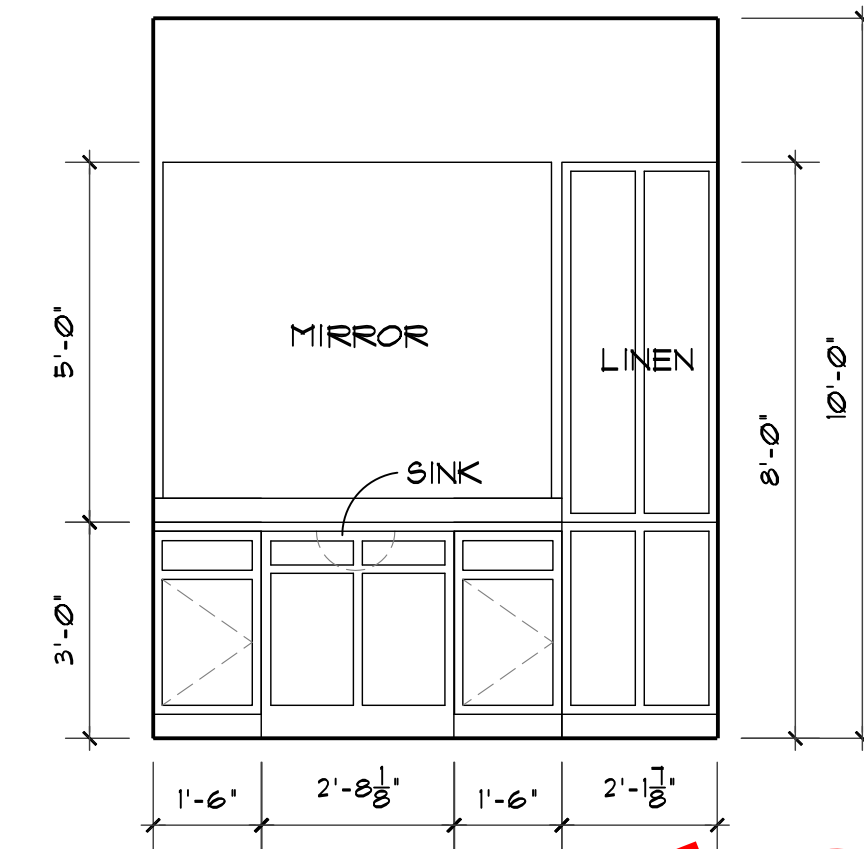
MASTER BATH
SCALE: 3/8" = 1'-0"



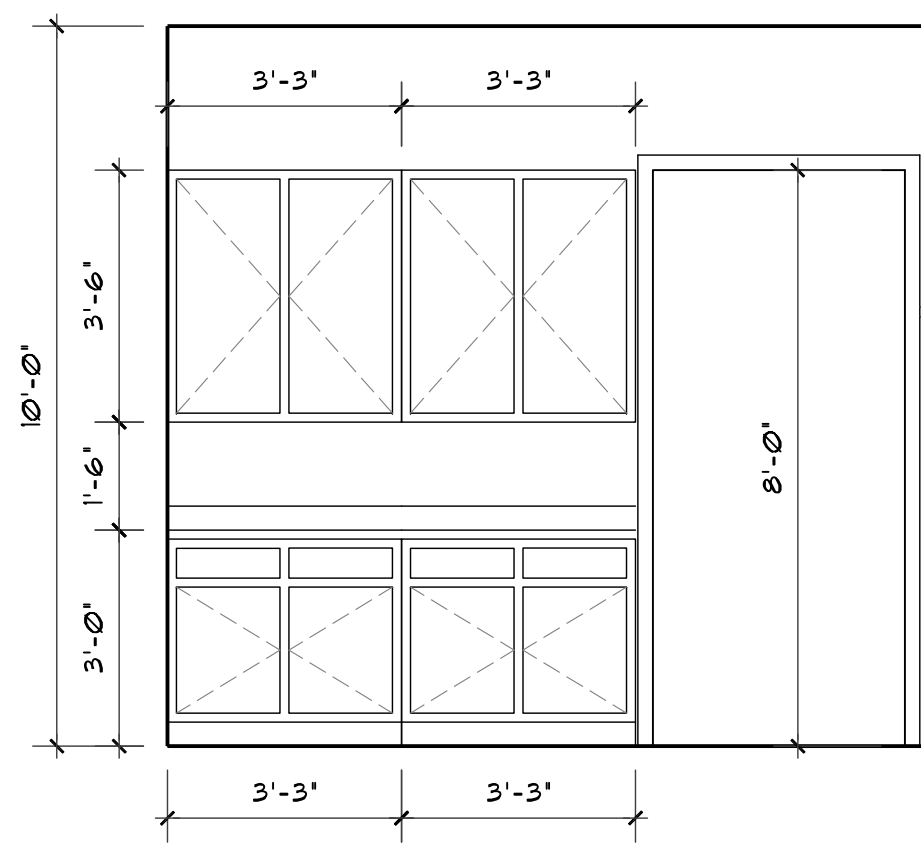
MASTER BATH
SCALE: 3/8" = 1'-0"



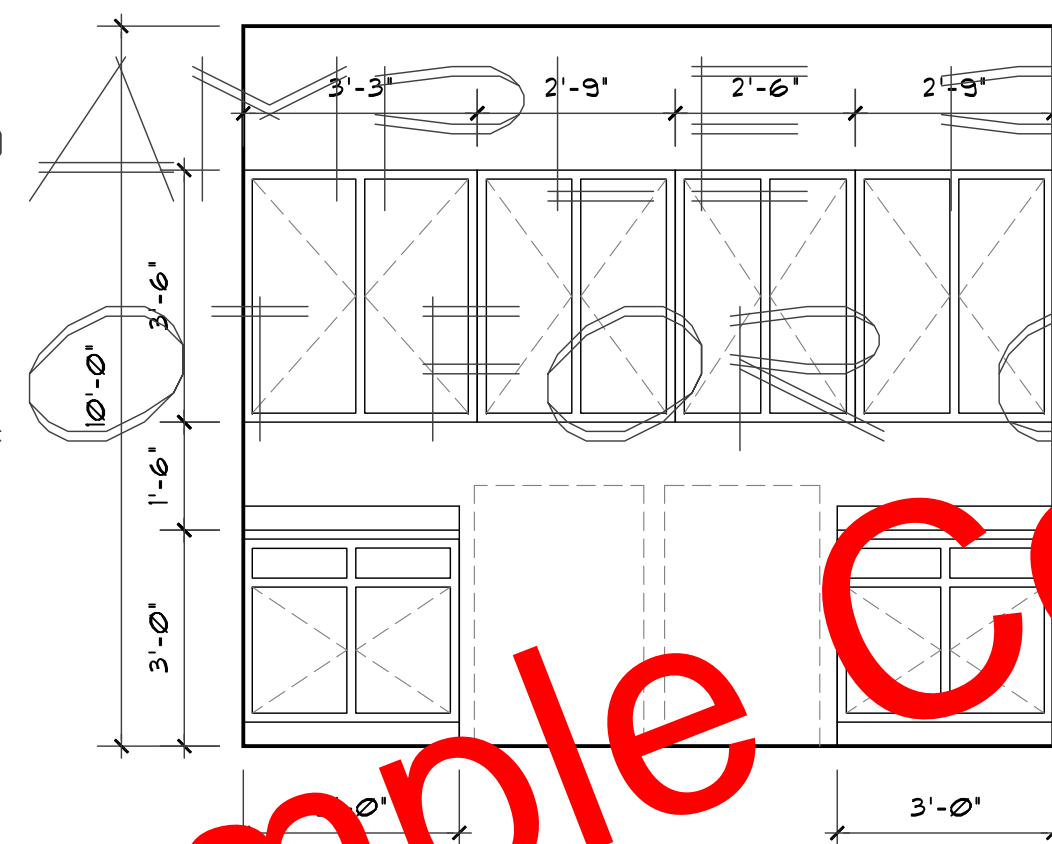
BATH 2
SCALE: 3/8" = 1'-0"



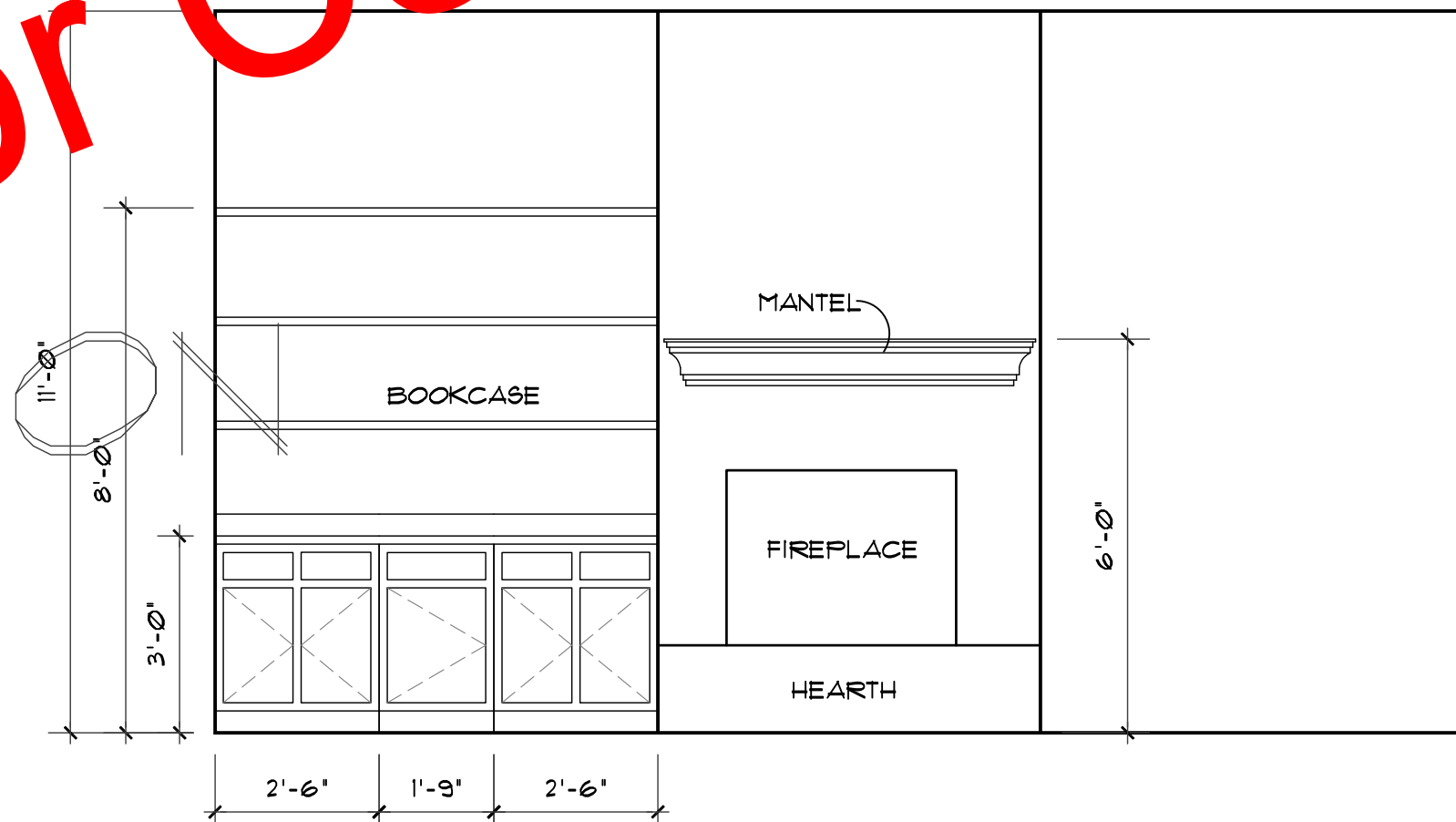
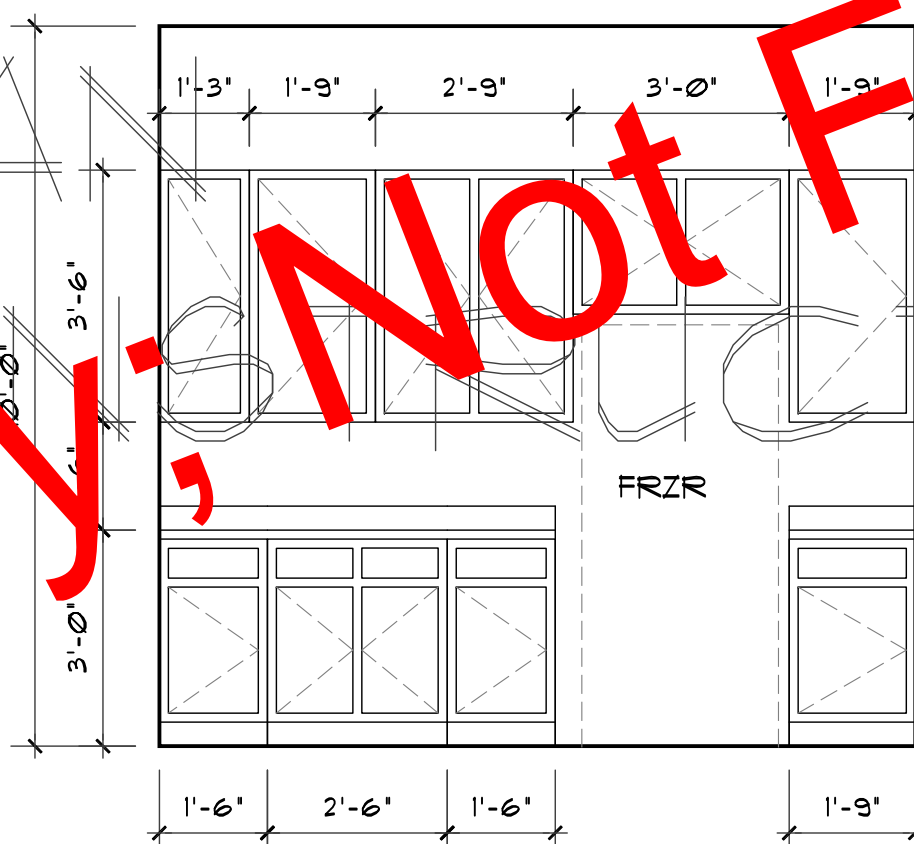
BATH 3
SCALE: 3/8" = 1'-0"



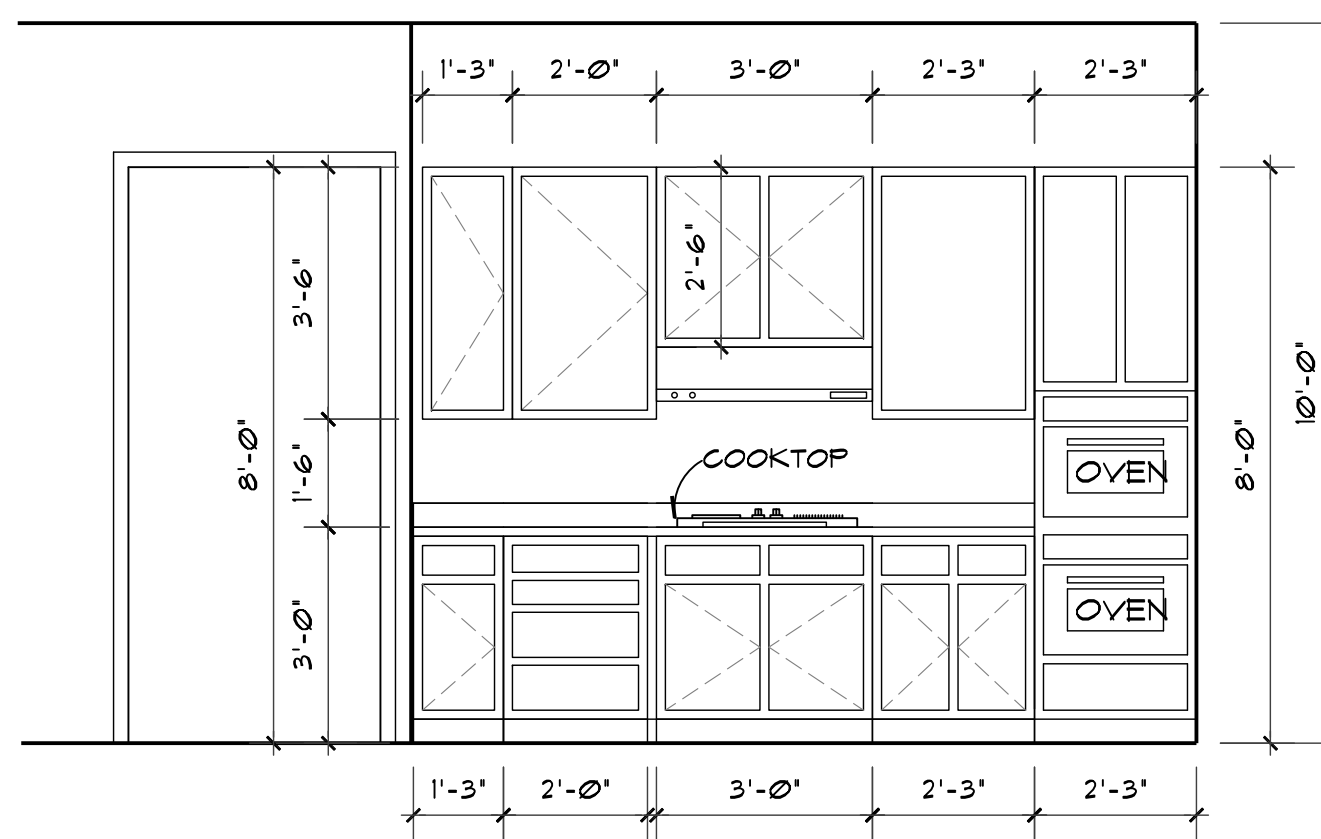
CASUAL DINING
SCALE: 3/8" = 1'-0"



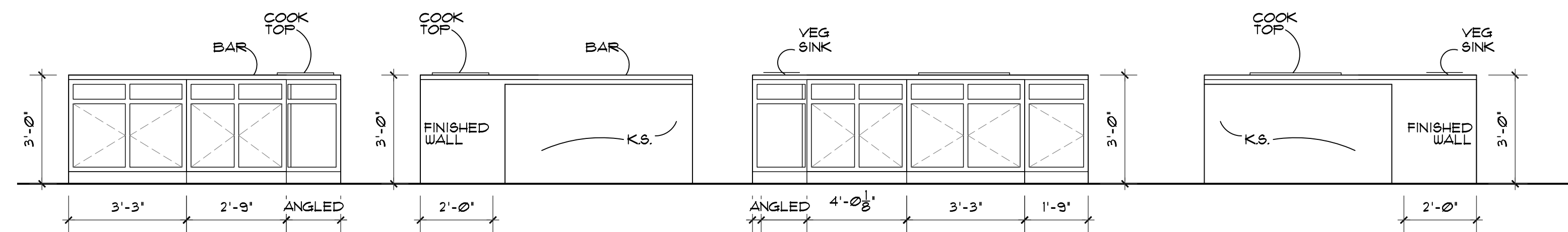
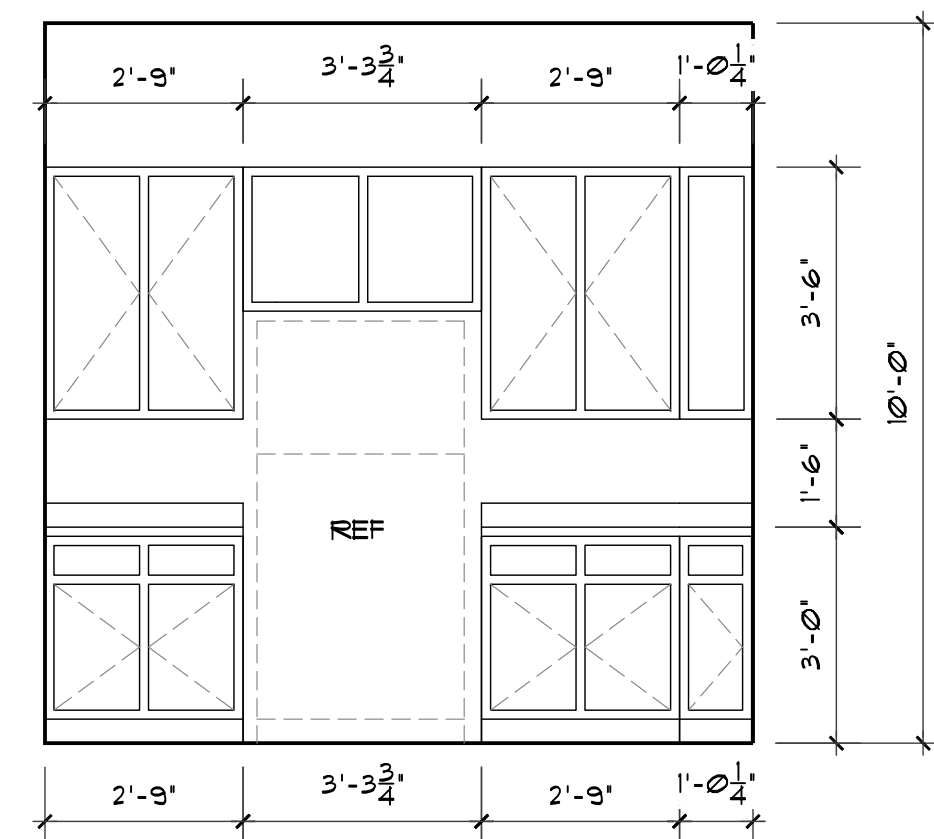
UTILITY CABINETS
SCALE: 3/8" = 1'-0"



GREAT ROOM
SCALE: 3/8" = 1'-0"



KITCHEN CABINETS
SCALE: 3/8" = 1'-0"



ISLAND
SCALE: 3/8" = 1'-0"